



Exp 3/9/17

PERMIT NO.

CITY OF NEW BEDFORD
SEWER AND/OR STORM DRAIN PERMIT

DATE 3/9/16

24468

This certifies that permission is granted to

manix holdings LLC 19 Anthony Terr. NB 02740 508-717-1518
Property Owner Address Tel.

To connect a sewer and/or storm drain located at Armsby (SS) 200' E X METCALF ST

Assessor's Plot 127E Lot 393, to the sewer and/or storm drain in Armsby ST. Street

To be laid in accordance with the conditions in this application and the City of New Bedford ordinances.

TYPE OF USE: RESIDENTIAL COMMERCIAL INDUSTRIAL FLOW 330 G.P.D.

If applicant other than actual property owner, attach Letter of Authorization from Property Owner.

Name Mailing Address Tel.

The Bonded Contractor/Drain Layer authorized to perform this work is:

B.J. Canessa

Name Address Tel.

Type of Pipe Required: PVC SDR 35

PERMIT EXPIRES ONE YEAR AFTER DATE OF ISSUE

- Requires separate connections for sewage and storm drain where applicable. Storm water cannot be discharged to a sanitary sewer.
- All work must be inspected and approved by a D.P.I. inspector before backfilling.
- If this connection is to be part of a private service shared jointly with other building owners, attach copy of Recorded Joint Maintenance Agreement.
- Permits can be issued to Industrial and/or Commercial Applicants only upon receipt and approval by the Commissioner of Public Infrastructure of required plans and supplemental information.
- In addition, a City-issued Industrial User Discharge Permit and/or a Sewer Extension/Connection Permit issued by the Commonwealth of Massachusetts D.E.P. shall be required by the City for Industrial Discharge into the sewer system.

Industrial User Discharge Permit No. Date

Comm. Mass. Sewer Conn./Ext. Permit No. Date

A Filing and Inspection Fee of \$450, plus an Entrance Fee of \$ where applicable, must accompany this application.

Bank# Bank of America Check# 247 Date 3/9/16 Receipt# 255090

Other requirements: Please call 24 hours in advance for inspection

Connection made to Sewer Storm Drain

Part of jointly-shared private line YES NO

Applicant agrees to abide by the above terms, as well as all pertinent ordinances of the City of New Bedford, and such other special rules as the Commissioner of Public Infrastructure and/or City Engineer may deem necessary

City Engineer Signature of Property Owner or Representative

Inspector's Report

INSPECTED BY:

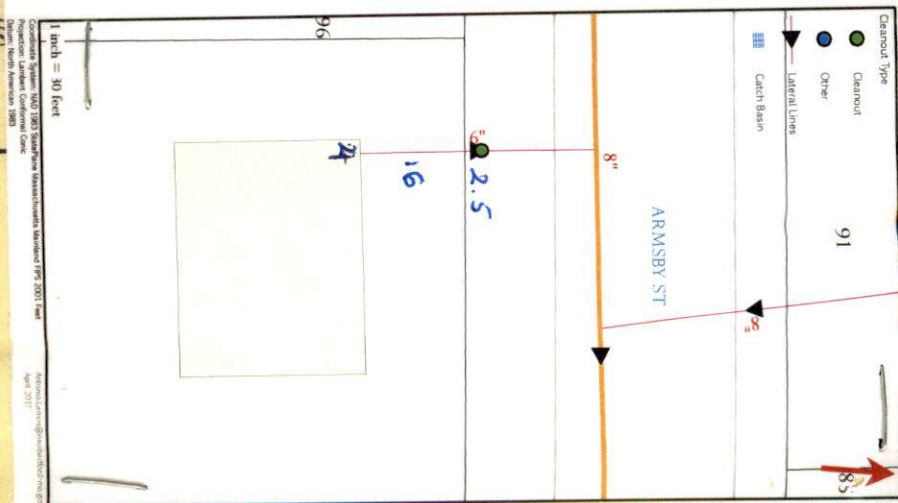
DATE:

COMMENTS:

APPROVED

SEE WHITE SHEET

SIGNATURE





Monday 3/14/16
Inspector 1:00 PM

Exp 3/9/17

FILE P183,179 ON 146

PERMIT NO.

CITY OF NEW BEDFORD
SEWER AND/OR STORM DRAIN PERMIT

DATE 3/9/16

24468

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Property Owner moniz holdings LLC Address 19 Anthony Terr. NB 02740 Tel. 508-717-1518

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Name..... Tel.....

Mailing Address.....

The Bonded Contractor/Drain Layer authorized to perform this work is:

Name RJ Canessa Address..... Tel.....

Type of Pipe Required: PVC SDR 35

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Comm. Mass. Sewer Conn./Ext. Permit No..... Date.....

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Bank# Bank of America Check# 247 Date 3/9/16 Receipt# 255090

Other requirements: Please call 24 hours in advance for

inspection

Connection made to Sewer Part of jointly-shared private line YES NO
Storm Drain

Applicant agrees to abide by the above terms, as well as all pertinent ordinances of the City of New Bedford, and such other special rules as the Commissioner of Public Infrastructure and/or City Engineer may deem necessary.

Antonio M. Amado
City Engineer

[Signature]
Signature of Property Owner or Representative

Clerk of the Works

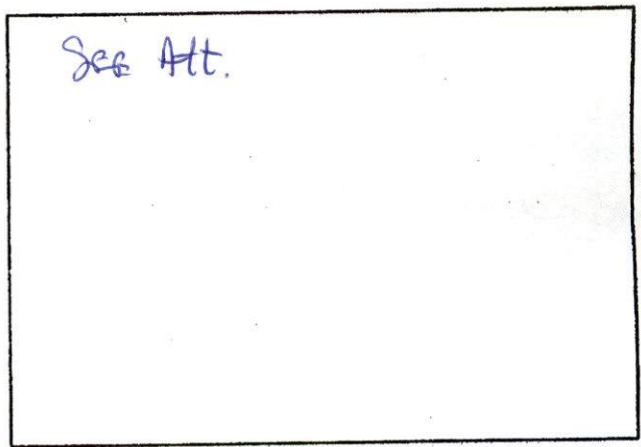
INSPECTOR'S REPORT

INSPECTED BY: Antonio Paredes
DATE: 3/16/2016
COMMENTS:

APPROVED DISAPPROVED

Paulo Lima

SIGNATURE



SKETCH PLAN

W6-16-5

Exp 3/9/17



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Property Owner moniz holdings LLC Address 19 Anthony Terr NB 02740 Tel. 508-717-1518

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If applicant other than actual property owner, attach Letter of Authorization from Property Owner.

Name..... Tel.....

Mailing Address.....

The Bonded Contractor/Drain Layer authorized to perform this work is:

R.J. Canessa

Name..... Address..... Tel.....

Type of Pipe Required: PVC SDR 35

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Industrial User Discharge Permit No..... Date.....

Comm. Mass. Sewer Conn./Ext. Permit No..... Date.....

A Filing and Inspection Fee of \$ 450; plus an Entrance Fee of \$..... where applicable, must accompany this application.

Bank# Bank of America Check# 247 Date 3/9/16 Receipt# 255090

Other requirements: Please call 24 hours in advance for

inspection

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Storm Drain

Applicant agrees to abide by the above terms, as well as all pertinent ordinances of the City of New Bedford, and such other special rules as the Commissioner of Public Infrastructure and/or City Engineer may deem necessary.

Norm M. Amado City Engineer

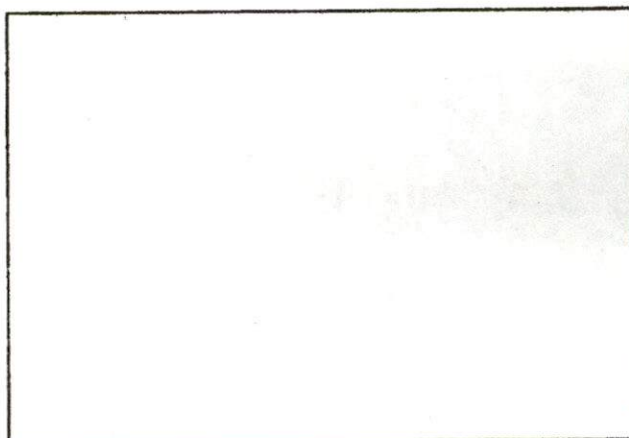
Signature of Property Owner or Representative

INSPECTOR'S REPORT

INSPECTED BY: _____
DATE: _____
COMMENTS: _____

APPROVED _____ DISAPPROVED _____

SIGNATURE



SKETCH PLAN





Commonwealth of Massachusetts

City of New Bedford

133 William Street New Bedford, MA 02740

SEWER PERMIT



Date: **4/19/2016**

No. **WW-16-5**

Sewer Connection Fee: **\$450.00**

Pipe Size: **0.00**

Trench Length: **0.00**

Service Location: **SS ARMSBY ST**

Owner Name: **MACEDO MADELINEGARDNER**

Type of Occupancy: **Residential**

Type of Work: **Sewer - New Sewer Service**

Work Description: **PROPERTY SOLD 3/1/16
R.O.D.- BOOK 11621
PAGE - 21**

**SDR35 PVC
SEWER PERMIT#24468**

SS 200' EX METCALF ST

P127E L383

No. of Units : **0** Required Design Daily Flow : **0.00** Provided Daily Flow : **0.00**

The undersigned petitions you to grant permission to ENTER INTO THE MAIN SEWER and, if such permission is granted, hereby agrees to the following:

1. To abide by the conditions and regulations imposed by the Commissioner of Public Works by statute or by ordinance now in force, or as amended from time to time.
2. That the connection of said sewer with the main sewer shall be inspected by an employee of the department of Public Works or by a designated agent of the Town before burial of said connection.
3. That the work shall at all times be under the direction and control of the Commissioner of Public Works or his authorized agent, and that any expense incurred by the Town shall be charged to the permittee, and said permittee agrees to reimburse the Town for said expense.

Installing Company Name: **Robert J. Canessa**

License Type: **DPI - Other**

Address: **P. O. Box 51643**

City/Town/State: **New Bedford**

MA

Call (781) 942-9077 For Inspection



Commonwealth of Massachusetts

CITY OF NEW BEDFORD

City Hall, Room 308, 133 William Street New Bedford, MA 02740 (508) 979-1540



FOUNDATION PERMIT

2/22/2016

No. B-16-20

MSBC Sect. 111.8 - Any permit issued shall be deemed abandoned and invalid unless the work authorized by it shall have been commenced within six (6) months after its issuance.

FEE PAID \$100.00

This certifies that Paul D. Bennett

owner/contractor has permission to:

SS

ARMSBY ST

on: Foundations Only 1-2 Family - 100.00

Providing that the person accepting this permit shall in every respect conform to the terms of application therefore on file in this office; to the provisions of the statute of the Commonwealth and to the by-laws of the City of New Bedford relating to the inspection, erection, enlarging, altering, raising, moving, repairing, or tearing down of a building.

Permit is issued subject to the following special requirements: (Restrictions)



Wiring Inspector



Plumbing Inspector



Building Inspector

YOUR AREA INSPECTOR IS: Thomas Welch

Tel. (508) 979-1540 Between 8:00am - 9:00am

**NOTICE: NOTIFY INSPECTOR 48 HOURS IN
ADVANCE OF APPLYING SHEATHING OR LATHING**

OCCUPANCY PERMIT REQUIRED BEFORE OCCUPANCY

No Building or Structure shall be used or occupied until the Certificate of Use and Occupancy shall have been issued by the Building Commissioner - MSBC, Sect. 120.1

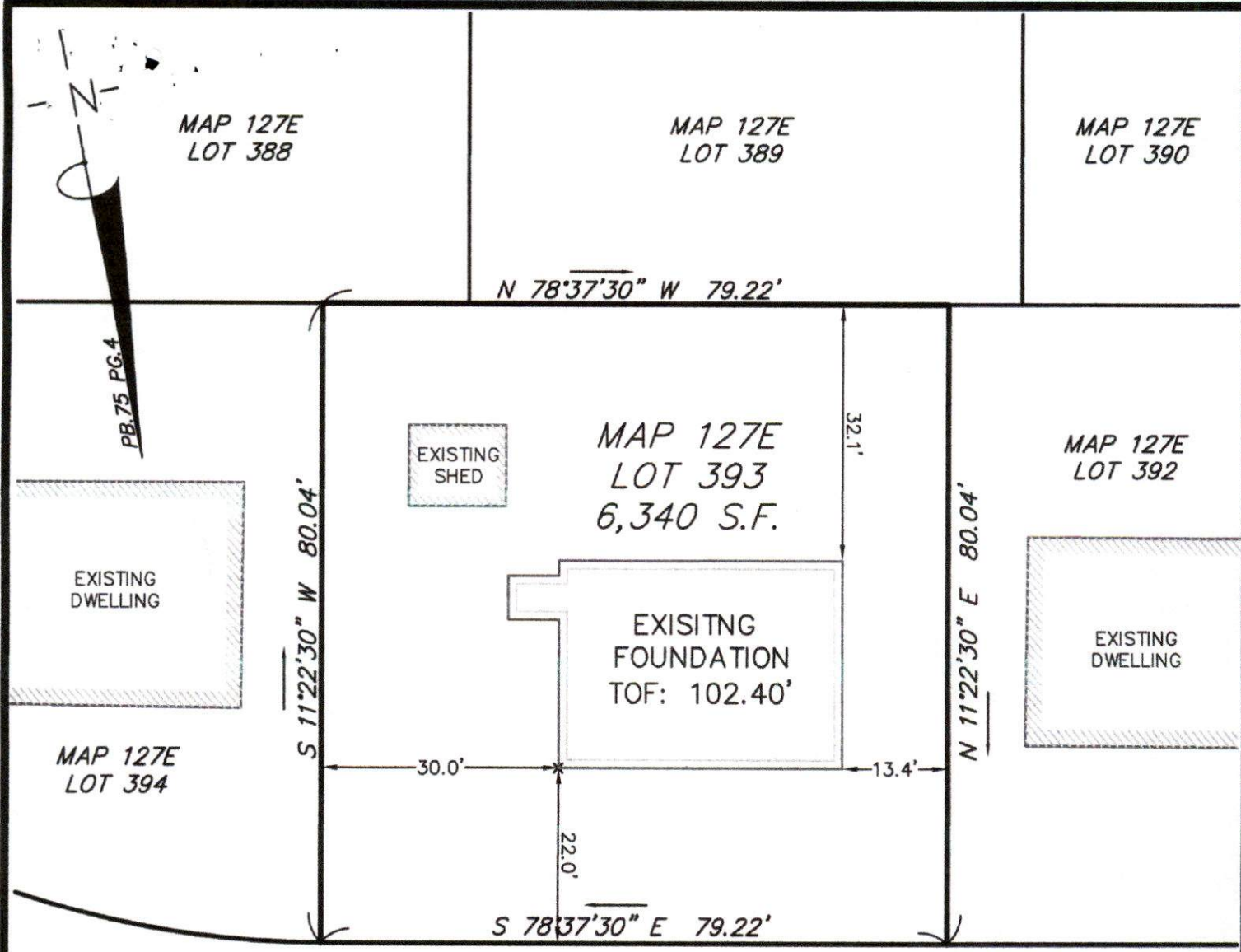
This Card Must Be Displayed in a Conspicuous Place on the Premises and Not Torn Down or Removed Until Completion of Work

SUBJECT TO MASSACHUSETTS
STATE BUILDING CODE

Donny D. Romanowicz

Building Inspector

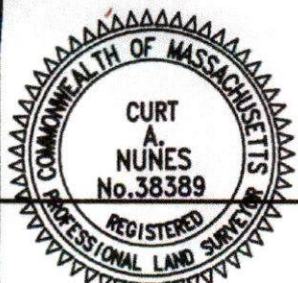
Plan Review Comments:



ARMSBY STREET

AS-BUILT FOUNDATION PLAN - MAP 127E LOT 393

ARMSBY STREET
IN
NEW BEDFORD, MA

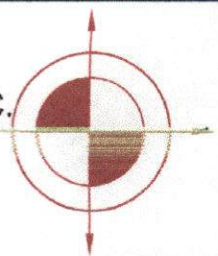


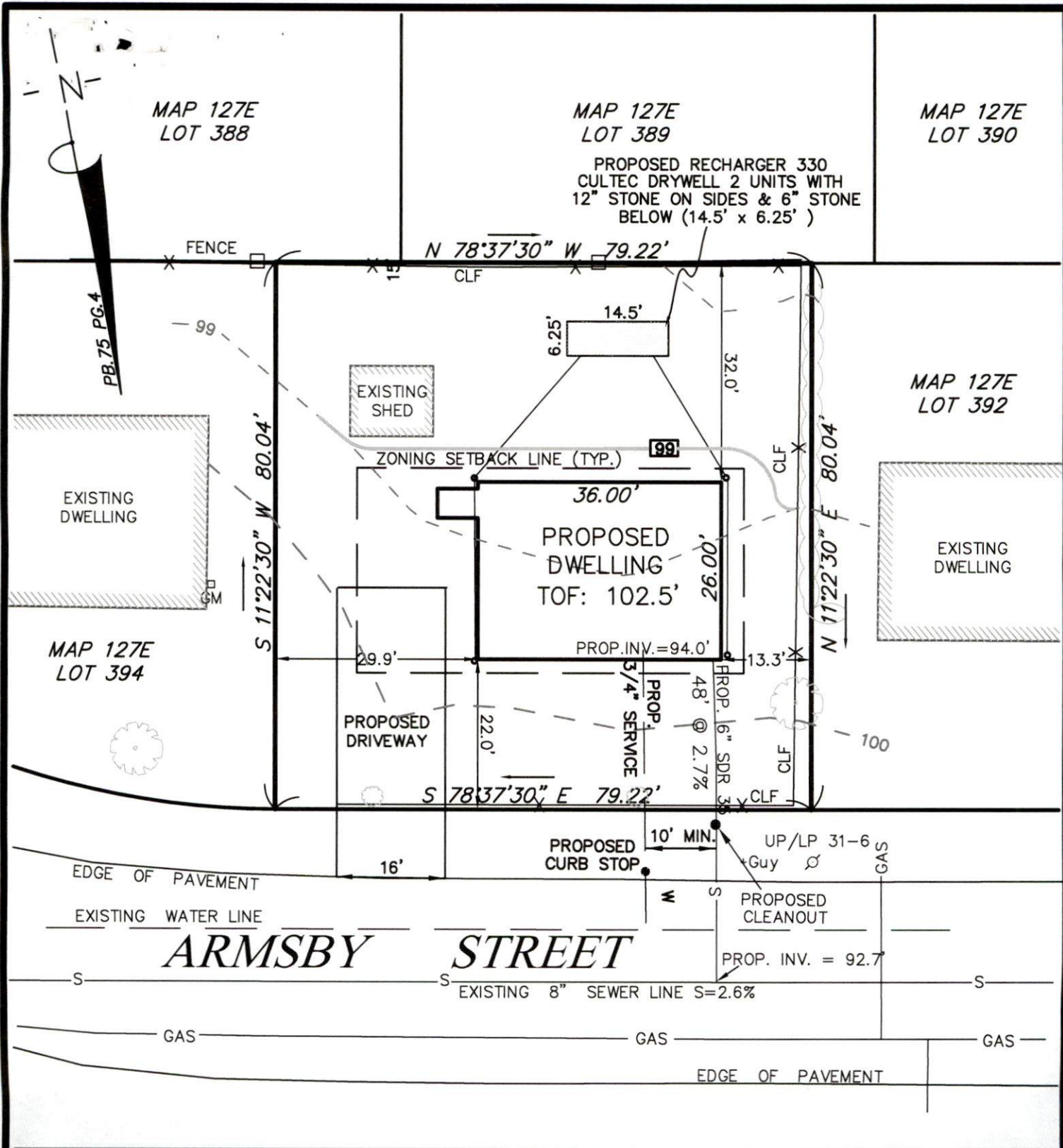
I CERTIFY THAT THE FOUNDATION SHOWN HEREON, AS BUILT, CONFORMS TO THE CITY OF NEW BEDFORD ZONING SETBACK REQUIREMENTS, AND THAT SAID FOUNDATION, AS BUILT, DOES NOT LIE IN A F.I.R.M. FLOOD HAZARD ZONE.

[Signature]
PROFESSIONAL LAND SURVEYOR 3/9/16 DATE

DATE: MARCH 9, 2016
SCALE: 1" = 20'

ROMANELLI ASSOCIATES INC.
PROFESSIONAL LAND SURVEYORS
1162 Rockdale Ave. New Bedford, MA 02740
Phone (508) 995-0100 - (508) 995-6678
WWW.ROMANELLI-INC.COM





BUILDING PERMIT PLAN - MAP 127E LOT 393

ARMSBY STREET

IN

NEW BEDFORD, MA



THIS PLAN IS BASED ON AN INSTRUMENT SURVEY PERFORMED BY ROMANELLI ASSOCIATES, INC. ON 12/20/15.

Alan Ewing 2/17/16
PROFESSIONAL ENGINEER DATE

DATE: FEB. 16, 2016

SCALE: 1" = 20'

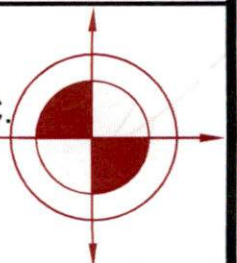
ROMANELLI ASSOCIATES INC.

PROFESSIONAL LAND SURVEYORS

1162 Rockdale Ave. New Bedford, MA 02740

Phone (508) 995-0100 - (508) 995-6678

WWW.ROMANELLI-INC.COM



JN 15-137



City of New Bedford, MA

Building Division

City Hall, Room 308, 133 William Street
New Bedford, MA 02740

RECEIPT

APPLICATION TO CONSTRUCTION, REPAIR, RENOVATE, CHANGE THE USE OR OCCUPANCY OF, OR DEMOLISH A DWELLING

Permit No #: TB-16-20	Date Received: 1/7/2016
Signature: Paul D. Bennett	
Building Commissioner/Inspector of Buildings:	Date

SECTION 1 : SITE INFORMATION

1.1 Property Address SS ARMSBY ST	1.2 Assessors Map & Parcel Number 127E-393
1.3 Zoning Information RA	1.4 Property Dimensions 6340
Zoning District	Proposed Use
	Lot Area
	Frontage (ft)

1.5 Building Setbacks (ft)					
Front Yard		Side Yard		Rear Yard	
Required	Provided	Required	Provided	Required	Provided
20.00	22.00	8.00	29.90	30.00	32.00
1.6 Water Supply	False	1.7 Flood Zone Information		1.8 Sewage Disposal	False

SECTION 2: PROPERTY AUTHORIZED AGENT

Agent of Record					
Paul D. Bennett	304 Upland Street	New Bedford	MA	02745	
Name	Address				

SECTION 3: Description of Proposed Work

Permit For: Foundations Only 1-2 Family - 100.00
Brief Description of Proposed Work: foundation for single family 26'x36' m.s.

SECTION 4: Estimated Construction Costs / Permit Fees

Total Project Cost :	\$15,000.00	Payment Date	Amount Paid	Check No
Total Permit Fee Paid:	\$100.00	2/22/2016	\$100.00	3139
Account Number : 02401200-453010 ISPBPM				

THIS IS NOT A PERMIT

ASR-D.P.I. Engrg.: RE: TB-16-20
Armsby St. (S.S.) 200' (+/-) E. x Metcalf St.
Plot 127E/Lot 393
Reviewed 2/16/2016

Requirements to be met by Owner/Developer for this project:

- 1.) The original site plan presently in the View Permit system (dated 11/27/2015) was not approved by D.P.I. The plan was revised to reflect changes required by D.P.I. and resubmitted to D.P.I. with a date of 2/5/2016 and signed/stamped by Alan Ewing (P.E.-Civil). The 2/5/2016 plan still shows the water shut off in the incorrect location (it must be 1-1/2' from the curb within the sidewalk area) and radii within driveway apron are not allowed. The owner/developer is responsible for making the building inspector aware of the revisions to plans placed on file with Inspectional Services and providing the revised version to them.
- 2.) Plan must be revised to show correct water shut off location and no radii on driveway apron, and applicant must provide 3 full size (to scale) copies of final site plan at the time of applying for permits, showing all information required by D.P.I. (i.e. existing conditions and proposed grading/utilities [proposed water, sewer/storm drain (recharge structure) and driveway]) AND reflecting any revisions required by other Departments. A copy of the foundation permit and "stamped" foundation as-built plan must also be submitted. Any representative/agent pulling permits on behalf of the owner must provide D.P.I. with a permission slip. If property was acquired within the past 3 months, then the new owner must provide a copy of the recorded deed showing property ownership. If property is owned by more than one individual, all must sign permission slip.
- 3.) Must contact D.P.I.-Engineering to measure for building number (address) once front door is framed. The C.O. will not be signed unless the legal address assigned by the City is permanently affixed to, above, or next to, the entrance to which it was assigned such that it is highly visible from the street.

Please note the following:

- a.) Any new mains installed must be inspected, tested (witnessed by a D.P.I. inspector), and approved for connection prior to D.P.I. issuing permits for service connections. Installer is responsible for meeting minimum required vertical and horizontal separation for water and sewer. D.P.I. requires that the as-built for all utilities installed within the roadway must be submitted prior to signing off on any C.O. for new buildings constructed.
- b.) The integrity of any previously existing water and/or sewer service being re-utilized must be determined, and said testing witnessed by a D.P.I. inspector, prior to connection. The owner/developer assumes all responsibility of re-utilizing said service(s). Contractor is responsible for meeting minimum required vertical and horizontal separation for water and sewer services.
- c.) The owner/developer is responsible for showing all existing easements on the submitted site plan, and if D.P.I. is made aware or finds that they have installed new utilities within an existing easement not belonging to them, they will be responsible for relocating such utilities.
- d.) The maximum width allowed for any residential driveway opening is 18'. No radii allowed on driveway opening. Any other pre-existing curb cuts along perimeter of property will have to be closed.

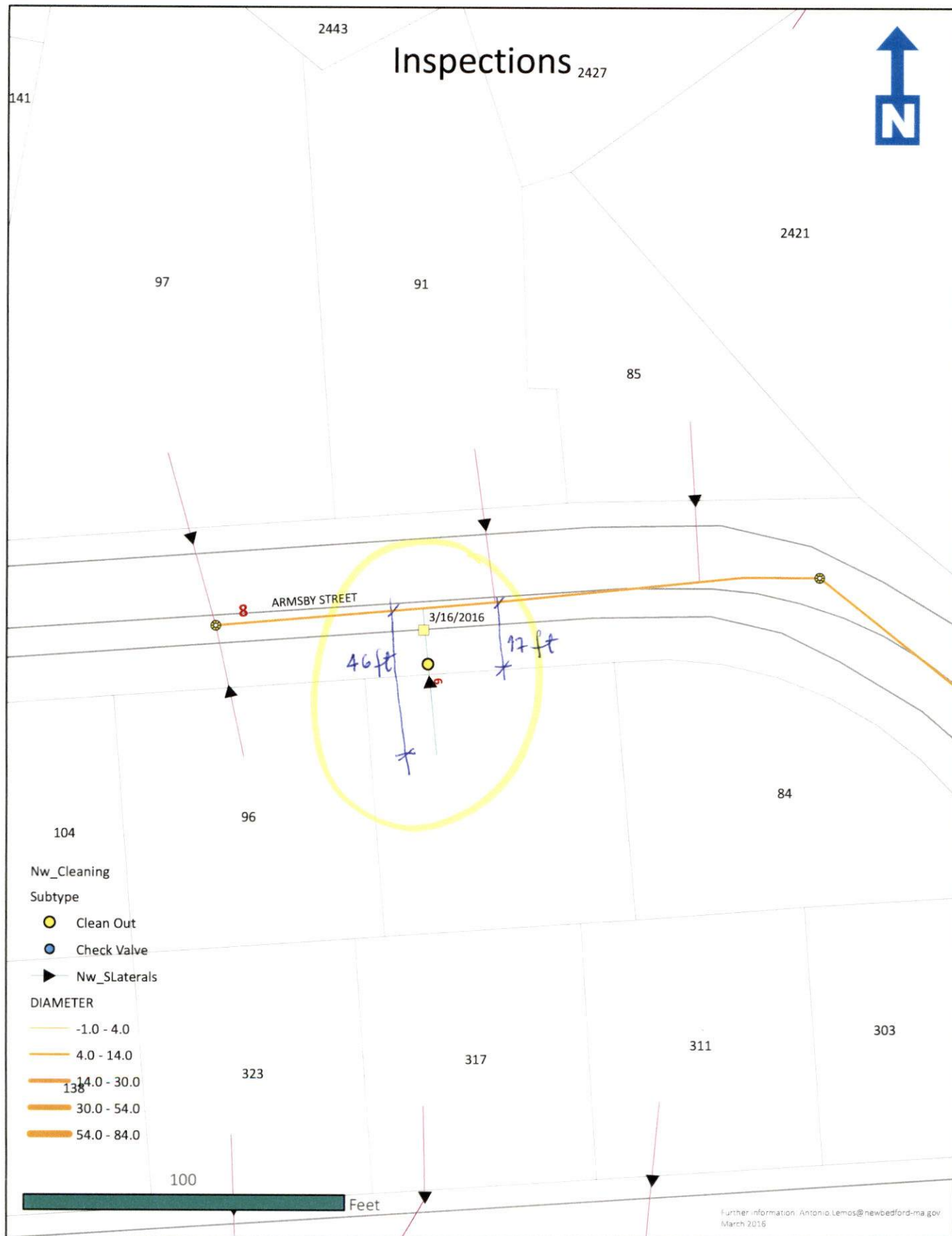
Buildable under Section 2713: 2713. Recorded Lots. A lot or parcel of land having an area or frontage of lesser amounts than required in the following schedule of dimensional requirements may be considered as satisfying the area and frontage requirements of this Section provided such lot or parcel of land was shown on a plan or described in a duly recorded deed or registered at the time of adoption of this Ordinance and did not at the time of adoptions of adjoin other land of the same owner available for use in connection with such lot or parcel.

Permit is for a : foundation for single family
26'x36'

- jr civil eng: 1. Move curb stop 1.5ft from face of curb.
2. Water service to be 10ft away from sewer service,
3. Owner to apply for a water permit.

ASR-D.P.I. Engrg.: RE: TB-16-20
Armsby St. (S.S.) 200' (+/-) E. x Metcalf St.
Plot 127E/Lot 393
Reviewed 1/21/2016

Owner/developer must contact D.P.I. to discuss revisions required on submitted plan regarding proposed driveway opening, water and sewer services configuration within City layout and water shut off location. Plan to be stamped by P.E.



Coordinate System: NAD 1983 StatePlane Massachusetts Mainland FIPS 2001
Projection: Lambert Conformal Conic
Datum: North American 1983