

Expires 7/17/16



PERMIT NO.

CITY OF NEW BEDFORD
SEWER AND/OR STORM DRAIN PERMIT

DATE 7/13/15

24447

This certifies that permission is granted to

Property Owner Kennedy, Donovan Center 385 County St. NB MA 508-772-1121
Address Tel.

To connect a sewer and/or storm drain located at 385 County (SWC County + Hawthorn St.)

Assessor's Plot 41 Lot 289 to the sewer and/or storm drain in 18" ADS Pipe to proposed manhole cutting section S.E. corner existing service County Street

To be laid in accordance with the conditions in this application and the City of New Bedford ordinances.

TYPE OF USE: RESIDENTIAL COMMERCIAL INDUSTRIAL FLOW G.P.D.

If applicant other than actual property owner, attach Letter of Authorization from Property Owner.

Name..... Tel.....

Mailing Address.....

The Bonded Contractor/Drain Layer authorized to perform this work is:

Name W.C. Smith Address Tel.

Type of Pipe Required: SD 36 PVC

PERMIT EXPIRES ONE YEAR AFTER DATE OF ISSUE

- Requires separate connections for sewage and storm drain where applicable. Storm water cannot be discharged to a sanitary sewer.
 - All work must be inspected and approved by a D.P.I. inspector before backfilling.
 - If this connection is to be part of a private service shared jointly with other building owners, attach copy of Recorded Joint Maintenance Agreement.
 - Permits can be issued to Industrial and/or Commercial Applicants only upon receipt and approval by the Commissioner of Public Infrastructure of required plans and supplemental information.
 - In addition, a City-issued Industrial User Discharge Permit and/or a Sewer Extension/Connection Permit issued by the Commonwealth of Massachusetts D.E.P. shall be required by the City for Industrial Discharge into the sewer system.
- Industrial User Discharge Permit No. Date

Comm. Mass. Sewer Conn./Ext. Permit No. Date

A Filing and Inspection Fee of \$ 450.00, plus an Entrance Fee of \$ where applicable, must accompany this application.

Bank# Bay Coast Bank Check# 116674 Date 7-20-15 Receipt# 93924

Other requirements: Please call ahead 24hr notice for inspection

2 (500) 939 150 ext. 506. Need copy of "as Built" of addition

Connection made to Sewer Part of jointly-shared private line YES NO
Storm Drain

Applicant agrees to abide by the above terms, as well as all pertinent ordinances of the City of New Bedford, and such other special rules as the Commissioner of Public Infrastructure and/or City Engineer may deem necessary

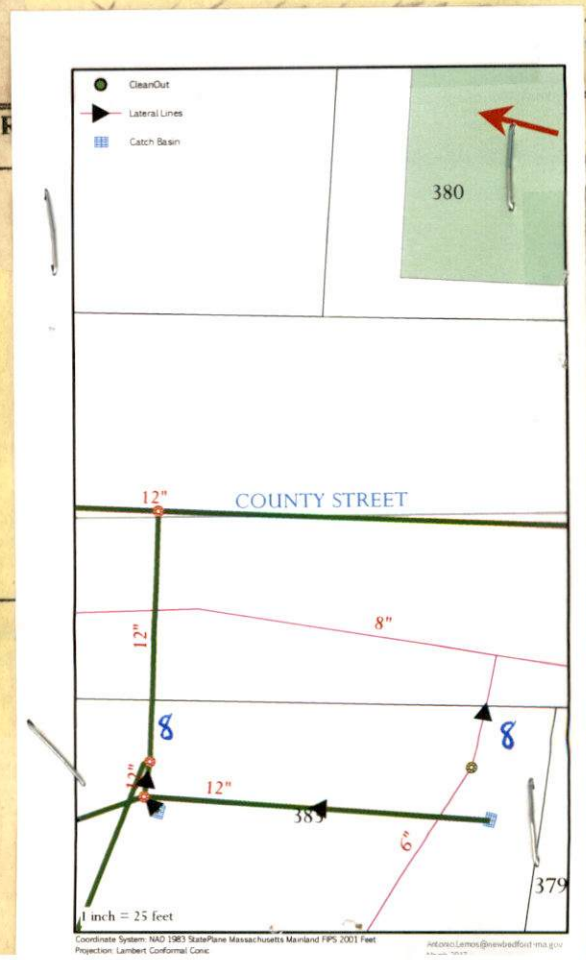
Dan M. Amato
City Engineer

INSPECTOR'S SIGNATURE

INSPECTED BY: _____
DATE: _____
COMMENTS: _____

APPROVED _____ DISAPPROVED _____

SEE WHITE SHEET
SIGNATURE



2 expires 7/17/16



PERMIT NO.
24447

CITY OF NEW BEDFORD
SEWER AND/OR STORM DRAIN PERMIT

DATE 7/17/15

This certifies that permission is granted to

Kennedy, Donovan Center 385 County St. NB MA 508-772-1121
Property Owner Address Tel.

To connect a sewer and/or storm drain located at 385 County (SWC County + Hawthorn St.)

Assessor's Plot 41 Lot 289 to the sewer and/or storm drain in 18" ADS pipe to proposed manhole
Sewer cutting section existing S.E. corner of existing service County into

To be laid in accordance with the conditions in this application and the City of New Bedford ordinances.
TYPE OF USE: RESIDENTIAL COMMERCIAL INDUSTRIAL FLOW _____ G.P.D.

If applicant other than actual property owner, attach Letter of Authorization from Property Owner.

Name _____ Tel. _____
Mailing Address _____

The Bonded Contractor/Drain Layer authorized to perform this work is:
W.C. Smith Porter's Excavating

Name _____ Address _____ Tel. _____
Type of Pipe Required: SDR 35 PVC

PERMIT EXPIRES ONE YEAR AFTER DATE OF ISSUE

- Requires separate connections for sewage and storm drain where applicable. Storm water cannot be discharged to a sanitary sewer.
- All work must be inspected and approved by a D.P.I. inspector before backfilling.
- If this connection is to be part of a private service shared jointly with other building owners, attach copy of Recorded Joint Maintenance Agreement.
- Permits can be issued to Industrial and/or Commercial Applicants only upon receipt and approval by the Commissioner of Public Infrastructure of required plans and supplemental information.
- In addition, a City-issued Industrial User Discharge Permit and/or a Sewer Extension/Connection Permit issued by the Commonwealth of Massachusetts D.E.P. shall be required by the City for Industrial Discharge into the sewer system.

Industrial User Discharge Permit No. _____ Date _____

Comm. Mass. Sewer Conn./Ext. Permit No. _____ Date _____
A Filing and Inspection Fee of \$ 450.00, plus an Entrance Fee of \$ _____ where applicable, must accompany this application.

Bank# Bay Coast Bank Check# 116074 Date 7-20-15 Receipt# 93924

Other requirements: Please call ahead 24hr notice for inspection
2 (508) 975-1500 ext. 506 Need copy of "as Built" of addition

Connection made to Sewer Part of jointly-shared private line YES NO
Storm Drain

Applicant agrees to abide by the above terms, as well as all pertinent ordinances of the City of New Bedford, and such other special rules as the Commissioner of Public Infrastructure and/or City Engineer may deem necessary

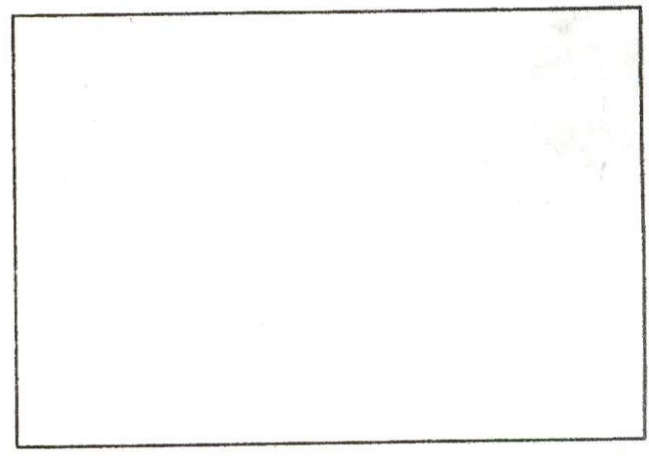
Harold Amade Ed. G. Ben
City Engineer Signature of Property Owner or Representative
Clerk of the Works

INSPECTOR'S REPORT

INSPECTED BY: _____
DATE: _____
COMMENTS: _____

APPROVED _____ DISAPPROVED _____

SIGNATURE



SKETCH PLAN



Inspection

DATE 7/17/15

PERMIT NO.

24447

CITY OF NEW BEDFORD
SEWER AND/OR STORM DRAIN PERMIT

8/19/15 @ 1PM

This certifies that permission is granted to

Property Owner Henrietta Donovan Center Address 385 County St. NB MA Tel. 508-772-1121

To connect a sewer and/or storm drain located at 385 County (Swc County + Hawthorn St.)

Assessor's Plot 41 Lot 289 to the sewer and/or storm drain in 18" ADS Pipe to proposed manhole

To be laid in accordance with the conditions in this application and the City of New Bedford ordinances.

TYPE OF USE: RESIDENTIAL COMMERCIAL INDUSTRIAL FLOW G.P.D.

If applicant other than actual property owner, attach Letter of Authorization from Property Owner.

Name W.C. Smith Tel. Porter Excavating

Mailing Address Porter Excavating

The Bonded Contractor/Drain Layer authorized to perform this work is:

Name W.C. Smith Address Porter Excavating Tel.

Type of Pipe Required: SDR 35 PVC

PERMIT EXPIRES ONE YEAR AFTER DATE OF ISSUE

- Requires separate connections for sewage and storm drain where applicable. Storm water cannot be discharged to a sanitary sewer.
 - All work must be inspected and approved by a D.P.I. inspector before backfilling.
 - If this connection is to be part of a private service shared jointly with other building owners, attach copy of Recorded Joint Maintenance Agreement.
 - Permits can be issued to Industrial and/or Commercial Applicants only upon receipt and approval by the Commissioner of Public Infrastructure of required plans and supplemental information.
 - In addition, a City-issued Industrial User Discharge Permit and/or a Sewer Extension/Connection Permit issued by the Commonwealth of Massachusetts D.E.P. shall be required by the City for Industrial Discharge into the sewer system.
- Industrial User Discharge Permit No. Date

Comm. Mass. Sewer Conn./Ext. Permit No. Date
A Filing and Inspection Fee of \$450.00, plus an Entrance Fee of \$ where applicable, must accompany this application.

Bank# Bay Coast Bank Check# 116674 Date 7-20-15 Receipt# 93924

Other requirements: Please call ahead 24hr notice for inspection
@ (508) 994-1580 ext. 506. Need copy of "as Built" of addition

Connection made to Sewer Part of jointly-shared private line YES (NO)
Storm Drain

Applicant agrees to abide by the above terms, as well as all pertinent ordinances of the City of New Bedford, and such other special rules as the Commissioner of Public Infrastructure and/or City Engineer may deem necessary

Harold Amodeo
City Engineer

X. Ed A. Ben
Signature of Property Owner or Representative

INSPECTOR'S REPORT

INSPECTED BY: Antonio Lima
DATE: 8/19/2015
COMMENTS: OK

APPROVED Paulo Lima DISAPPROVED

SIGNATURE

See Att.

SKETCH PLAN



CITY OF NEW BEDFORD
Jonathan F. Mitchell, Mayor

Department of Public Infrastructure

Ronald H. Labelle
Commissioner

Water
Wastewater
Highways
Engineering
Cemetery

To Whom It May Concern:

I rick bornstein CHIEF FINANCIAL OFFICER OF KENNEDY DONAHUE CENTER, being
(Name) (Mailing Address)

Owner of property located at

385 COUNTY STREET, NEW BEDFORD, MA

Plot 289, Lot 58980, hereby agree to allow R P. Valois & COMPANY
(Name)

29 Russell Mills Dartmouth to act on my behalf including affixing my
(Mailing Address)

signature in securing permit for:

- ☒ Sewer/Drain Service Permits
- ☒ Water Service Permits
- ☒ Driveway Installation Permits
- ☒ Sidewalk Installation Permits

I further agree to conform to, and abide by, All City rules and ask regulations applicable to the permit (s) being applied for:

Name R P Valois For Kennedy Donahue Center
Signature
1 COMMERCIAL STREET FOXBORO, MA 02035
Address
7/20/2015 508-772-1211
Date Telephone number



City of New Bedford, MA

Building Division

City Hall, Room 308, 133 William Street
New Bedford, MA 02740

RECEIPT

APPLICATION TO CONSTRUCTION, REPAIR, RENOVATE, CHANGE THE USE OR OCCUPANCY OF, OR DEMOLISH A DWELLING

Permit No #: TB-14-1795	Date Received: 6/6/2014
Signature: Roland Valois	
Building Commissioner/Inspector of Buildings:	Date

SECTION 1 : SITE INFORMATION

1.1 Property Address 385 COUNTY ST <i>Kennedy, Donovan</i>	1.2 Assessors Map & Parcel Number 41-289		
1.3 Zoning Information RA <i>Center</i>	1.4 Property Dimensions 58980		
Zoning District	Proposed Use	Lot Area	Frontage (ft)

1.5 Building Setbacks (ft)					
Front Yard		Side Yard		Rear Yard	
Required	Provided	Required	Provided	Required	Provided
20.00	0.00	8.00	0.00	30.00	0.00
1.6 Water Supply	False	1.7 Flood Zone Information		1.8 Sewage Disposal	False

SECTION 2: PROPERTY AUTHORIZED AGENT

Agent of Record			
Roland Valois	24 Gulf Hill Dr.	S. Dartmouth	Ma. 02748
Name	Address		

SECTION 3: Description of Proposed Work

Permit For: Alteration - Commercial
Brief Description of Proposed Work: Second part of perm (Parent Permit B-14-1091). Has not submitted application for second part yet. jg received build out permit for alts/ interior /exterior alts for office spaces and program office spaces CONTROL CONSTRUCTION JOSEPH M. BOOTH -ARCH 1-508-999-6220 RICHARD J CHARON-STRUCT MARC R. PLANTE-ELECTRICAL STEVEN A. KARAN-MECHANICAL-PLUMBING FIRE PROTECTION STAMPED PLANS WITH PERMIT REQUIRED 2ND FLOOR FOR STORAGE ONLY.....

SECTION 4: Estimated Construction Costs / Permit Fees

THIS IS NOT A PERMIT



City of New Bedford, MA

Building Division

City Hall, Room 308, 133 William Street
New Bedford, MA 02740

RECEIPT

APPLICATION TO CONSTRUCTION, REPAIR, RENOVATE, CHANGE THE USE OR OCCUPANCY OF, OR DEMOLISH
A DWELLING

Total Project Cost :	\$0.00	Payment Date	Amount Paid	Check No
Total Permit Fee Paid:	\$0.00			
		Account Number : 02401200-453010 ISPBPM		

THIS IS NOT A PERMIT

ASR-D.P.I. Engrg.

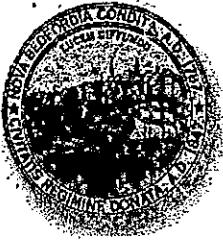
1/16/2015

RE: TB-14-1795
Kennedy Donovan Center
Plot 41/Lot 289

NOTE: There were no plans nor documentation posted in View Permit for this project at the time of this review. Utilized Site Plan Review plans.

Owner/Developer must:

- 1.) Build in accordance with approved S.P.R. plans and D.P.I. comments on said review (per Memo to Planning Board dated 7/15/2014) and any other conditions as set forth by D.P.I. in regards to the development of this site.
- 2.) Contact D.P.I. for a preconstruction mtg. prior to beginning the project, and all requirements discussed at said mtg. must be met. No permits will be issued by D.P.I. Until this has taken place.
- 3.) Provide D.P.I. with a full set of the most recent construction plans for the site, reflecting all revisions requested per D.P.I. and all other City departmental reviews, prior to beginning construction.
- 4.) Contact D.P.I. prior to applying for sewer/storm drain, water and driveway permits to review what materials will be required to be submitted to this office prior to these permits being issued. A permission letter from the property owner will be required in order for a representative/agent to sign permits. A copy of the stamped foundation as-built plan and permit must also be submitted.
- 5.) Contact D.P.I.-Engineering (508) 979-1550 to measure for new building number (address) if main entrance door is relocated. Please note that address numbers cannot be swapped from one entrance to another, and that any changes to the location of a door for which an address was originally assigned by the City will require that the owner apply for a new address number. No Certificate of Occupancy will be signed until an address has been issued by Engineering for the door location now being utilized as the main entrance of the structure.
- 6.) Submit final site as-built to D.P.I. showing location of building and all utilities (i.e. sewer, storm drain, water) installed as part of this project for City records. No Certificate of Occupancy will be signed until this has been submitted to D.P.I.



Department of Public Infrastructure

Ronald H. Labelle
Commissioner

CITY OF NEW BEDFORD

Jonathan F. Mitchell, Mayor

Water
Wastewater
Highways
Engineering
Cemeteries
Park Maintenance

MEMORANDUM

TO: City of New Bedford Planning Board ✓
FROM: Ronald H. Labelle, Commissioner, D.P.I.
DATE: July 15, 2014
RE: Site Plan – Kennedy Donovan Center
385 County St
Plot 41 Lot 289

The Department of Public Infrastructure has reviewed the proposed site plan referenced above and recommends approval with the following conditions:

1. Driveway permits are subject to Traffic Commission approval.
2. Driveways to be built in accordance with City of New Bedford regulations and with 4 foot transition curb on both sides.
3. Replace all existing sidewalk on the County Street side with cement concrete.
4. Permits for sidewalk, driveways, drainage and water must be obtained from the Department of Public Infrastructure Engineering Division.
5. Drainage design must comply with Phase II, Mass Department of storm water Management standards.
6. Is the existing sewer service north of the proposed SMH #1 still being used?
7. Trees proposed for County Street side of the project should be planted inside private property, due to handicapped accessibility regulations.
8. Proposed sewer service must be located outside the limits of the underground recharge system.
9. The 11/2- inch domestic water service: Install a curb stop 1.5 feet from the face of curb.

10. The department is requiring that you or your engineer verify in writing that the proposed domestic water and fire service will provide sufficient volume and pressure for the proposed commercial building. Should there be a need for greater water pressure, booster pump(s) shall be installed.
11. Owner to submit fire supply backflow plan for department approval.
12. All work and construction shall be in accordance with the City of New Bedford Department of Public Infrastructure construction specifications.
13. Developer and site contractor must schedule a pre-construction meeting with the Department of Public Infrastructure, and provide a full set of the most recent version of the site construction plans prior to the start of construction.
14. Upon completion, Engineer must submit "As Built Drawings" on CADD format prior to the certificate of Occupancy being issued.

Cc: Department of Inspectional Services ✓
Environmental Stewardship ✓
Boucher & Heures, Inc. ✓
Kennedy Donovan Center ✓

Ana S. Rosa

From: James E. Berube
Sent: Friday, January 09, 2015 7:22 AM
To: Manny Pereira; Michael E. Baker; Carole L. Days; Manuel Silva; Ana S. Rosa; Cliff Souza; Norman Charbonneau; Donna M. Amado; Alcino Marques; Laurent A. Lemieux
Cc: Danny Romanowicz
Subject: Permit/Application: TB-14-1795 at 385 COUNTY ST for Alteration - Commercial

asap

Jim Berube
Building Inspector

1/9/15
Kennedy Downtown
Center
Call logs
SPR from mtSt
do rrv.

Ana S. Rosa

From: Ana S. Rosa
Sent: Friday, January 16, 2015 8:13 AM
To: James E. Berube
Subject: RE: Permit/Application: TB-14-1795 at 385 COUNTY ST for Alteration - Commercial

• Jim...

There are no plans for review in view permit. Spoke with Manny Silva, he informed me this had gone for Site Plan Review. Engineering's review was based on the SPR submittal.

Ana

-----Original Message-----

From: James E. Berube
Sent: Friday, January 09, 2015 7:22 AM
To: Manny Pereira; Michael E. Baker; Carole L. Days; Manuel Silva; Ana S. Rosa; Cliff Souza; Norman Charbonneau; Donna M. Amado; Alcino Marques; Laurent A. Lemieux
Cc: Danny Romanowicz
Subject: Permit/Application: TB-14-1795 at 385 COUNTY ST for Alteration - Commercial

asap

Jim Berube
Building Inspector

DISPLAY PERMIT IN A CONSPICUOUS PLACE ON THE PREMISES



Commonwealth of Massachusetts

City of New Bedford

133 William Street New Bedford, MA 02740

SEWER PERMIT



Date: 8/24/2015

No. WW-15-27

Pipe Size: 0.00
Trench Length: 0.00

Owner Name: KENNEDY-DONOVAN CENTER INC

Type of Work: Sewer - New Sewer Service

ME: 15:28
PT:

CUSTOMER#: 0

CHG: DPI SEW DPI SEWER PERMI 450.00
REVENUE:
1 63906000 422185 450.00
Sewer Permit Fee
CASH:
TWO5 101009 450.00
Cash Treasurer Dep #

m St)

CENTER**

ed manhole 24

g S.E. corner tying into service on County.

Sign Daily Flow : 0.00 Provided Daily Flow : 0.00

permission to ENTER INTO THE MAIN SEWER and, if such permission is granted,

regulations imposed by the Commissioner of Public Works by statute or by
mended from time to time.
wer with the main sewer shall be inspected by an employee of the department of
d agent of the Town before burial of said connection.
be under the direction and control of the Commissioner of Public Works or his
expense incurred by the Town shall be charged to the permittee, and said

agrees to reimburse the Town for said expense.

Installing Company Name: License Type:

Address: City/Town/State:

Call (781) 942-9077 For Inspection

DISPLAY PERMIT IN A CONSPICUOUS PLACE ON THE PREMISES



Commonwealth of Massachusetts

City of New Bedford

133 William Street New Bedford, MA 02740

SEWER PERMIT



GRANTED WITH THE USUAL CONDITIONS

COMMISSIONER

Call (781) 942-9077 For Inspection

County S x Hawthorn

W —

12' 10" ~~SEVER~~

14.5' 6"

17' 6"

County St @ Hawthorn



Hasthurn & County.



Hasflora + Conf



