



PERMIT NO.
24414

CITY OF NEW BEDFORD
SEWER AND/OR STORM DRAIN PERMIT

DATE 12/11/14
Exp. 12/11/15

This certifies that permission is granted to

Dem Development 70 Lambeth St N.B. MA 02745
Property Owner Address Tel.

To connect a sewer and/or storm drain located at Lot 531 Acushnet Ave

Assessor's Plot 136 Lot 531, to the sewer and/or storm drain in Acushnet Ave Street

To be laid in accordance with the conditions in this application and the City of New Bedford ordinances.

TYPE OF USE: RESIDENTIAL COMMERCIAL INDUSTRIAL FLOW 330 G.P.D.

If applicant other than actual property owner, attach Letter of Authorization from Property Owner.

Name: Linda Perara Tel. 508-993-0381

Mailing Address: 70 Lambeth St N.B.

The Bonded Contractor/Drain Layer authorized to perform this work is:

Eric Smith

Name Address Tel.

Type of Pipe Required: 6" SDR 35

PERMIT EXPIRES ONE YEAR AFTER DATE OF ISSUE

- Requires separate connections for sewage and storm drain where applicable. Storm water cannot be discharged to a sanitary sewer.
 - All work must be inspected and approved by a D.P.I. inspector before backfilling.
 - If this connection is to be part of a private service shared jointly with other building owners, attach copy of Recorded Joint Maintenance Agreement.
 - Permits can be issued to Industrial and/or Commercial Applicants only upon receipt and approval by the Commissioner of Public Infrastructure of required plans and supplemental information.
 - In addition, a City-issued Industrial User Discharge Permit and/or a Sewer Extension/Connection Permit issued by the Commonwealth of Massachusetts D.E.P. shall be required by the City for Industrial Discharge into the sewer system.
- Industrial User Discharge Permit No. Date

Comm. Mass. Sewer Conn./Ext. Permit No. Date

A Filing and Inspection Fee of \$450, plus an Entrance Fee of \$ where applicable, must accompany this application.

Bank# Webster Bank Check# 6438 Date 12/11/2014 Receipt# 001852-0001

Other requirements: installing sewer service from property to existing manhole in Acushnet Ave @ Braley Rd.

Connection made to Sewer Part of jointly-shared private line YES NO
Storm Drain

Applicant agrees to abide by the above terms, as well as all pertinent ordinances of the City of New Bedford, and such other special rules as the Commissioner of Public Infrastructure and/or City Engineer may deem necessary

Norman Amodeo
City Engineer

Signature of Property Owner or Representative

INSPECTOR'S REPORT

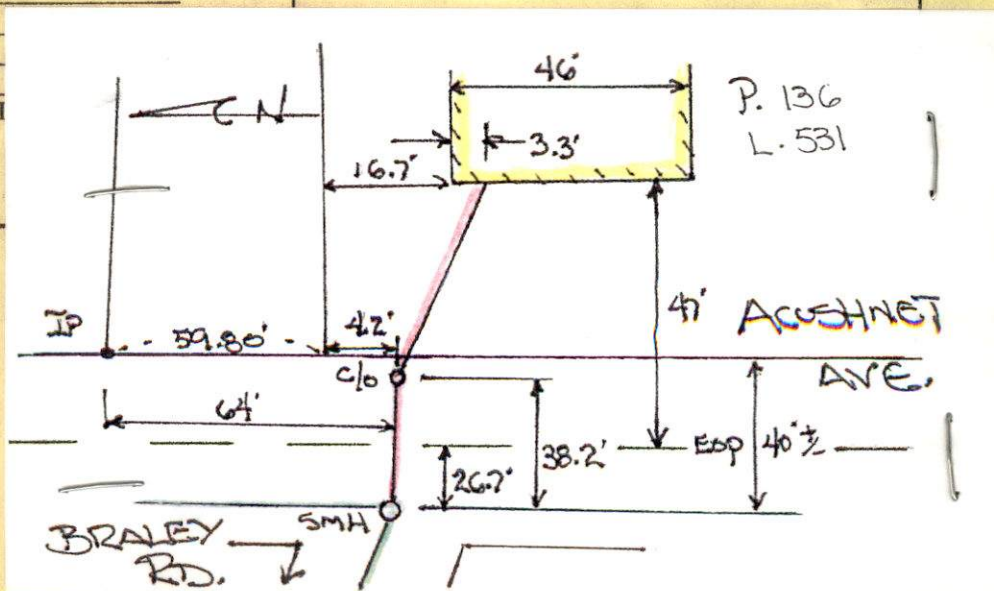
INSPECTED BY:
DATE:
COMMENTS:

APPROVED

DI

SEE JUSPEC SKETCH

SIGNATURE





PERMIT NO.
24414

CITY OF NEW BEDFORD
SEWER AND/OR STORM DRAIN PERMIT

DATE 12/11/14
Exp. 12/11/15

This certifies that permission is granted to

DPM Development 70 Lambeth St. N.B. MA 02745
Property Owner Address Tel.

To connect a sewer and/or storm drain located at Lot 531 Acushnet Ave
Acushnet Ave (ES) Intersection of Bealeys Rd.
Assessor's Plot 136 Lot 531 to the sewer and/or storm drain in Acushnet Ave Street

To be laid in accordance with the conditions in this application and the City of New Bedford ordinances.

TYPE OF USE RESIDENTIAL COMMERCIAL INDUSTRIAL FLOW 330 G.P.D.

If applicant other than actual property owner, attach Letter of Authorization from Property Owner.

Name Lino Pereira Tel. 508-993-0381

Mailing Address 70 Lambeth St. N.B.

The Bonded Contractor/Drain Layer authorized to perform this work is:

Eric Smith

Name Address Tel.

Type of Pipe Required: 6" SDR 35

PERMIT EXPIRES ONE YEAR AFTER DATE OF ISSUE

- Requires separate connections for sewage and storm drain where applicable. Storm water cannot be discharged to a sanitary sewer.
- All work must be inspected and approved by a D.P.I. inspector before backfilling.
- If this connection is to be part of a private service shared jointly with other building owners, attach copy of Recorded Joint Maintenance Agreement.
- Permits can be issued to Industrial and/or Commercial Applicants only upon receipt and approval by the Commissioner of Public Infrastructure of required plans and supplemental information.
- In addition, a City-issued Industrial User Discharge Permit and/or a Sewer Extension/Connection Permit issued by the Commonwealth of Massachusetts D.E.P. shall be required by the City for Industrial Discharge into the sewer system.

Industrial User Discharge Permit No. Date

Comm. Mass. Sewer Conn./Ext. Permit No. Date

A Filing and Inspection Fee of \$450, plus an Entrance Fee of \$ where applicable, must accompany this application.

Bank# Webster Bank Check# 6438 Date 12/11/2014 Receipt# 001852-0001

Other requirements: installing sewer service from property to

existing manhole in Acushnet Ave @ Bealeys Rd.

Connection made to Sewer * on water card; Stages to be reviewed

Part of jointly-shared private line YES ☒ NO

Storm Drain

Applicant agrees to abide by the above terms, as well as all pertinent ordinances of the City of New Bedford, and such other special rules as the Commissioner of Public Infrastructure and/or City Engineer may deem necessary

Dan M. Andrade Signature of Property Owner or Representative

City Engineer

Chief of the Works

INSPECTOR'S REPORT

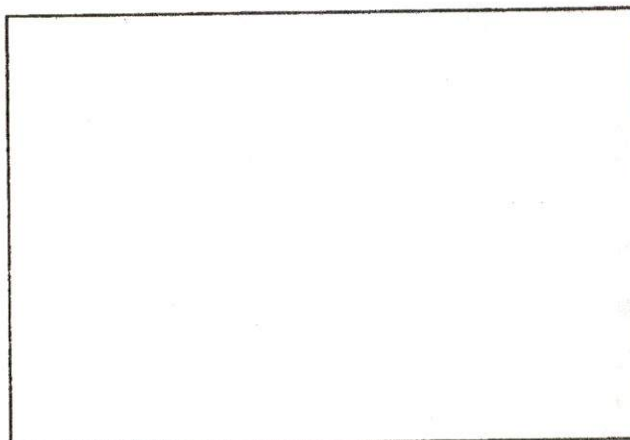
INSPECTED BY: _____

DATE: _____

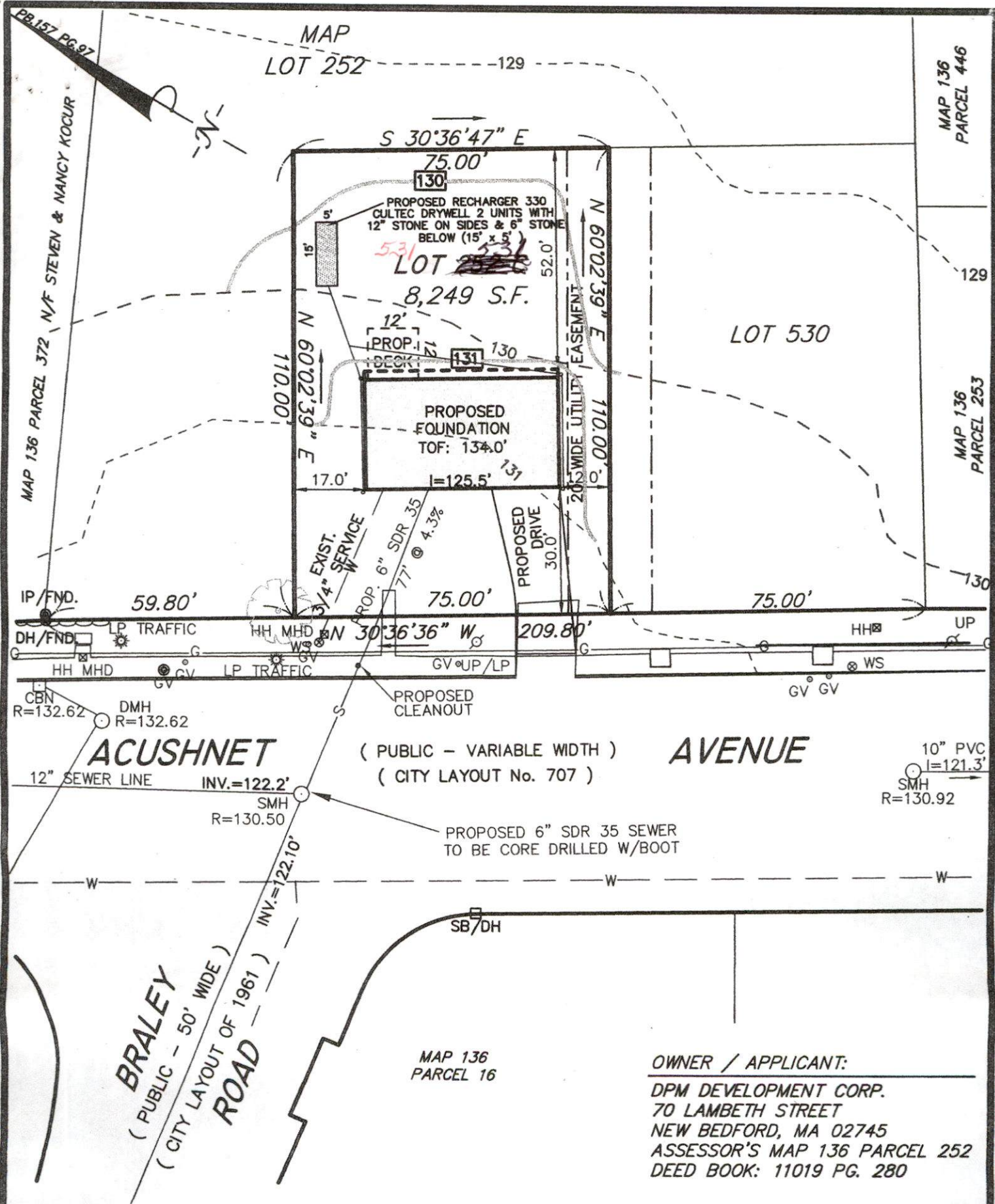
COMMENTS: _____

APPROVED DISAPPROVED

SIGNATURE

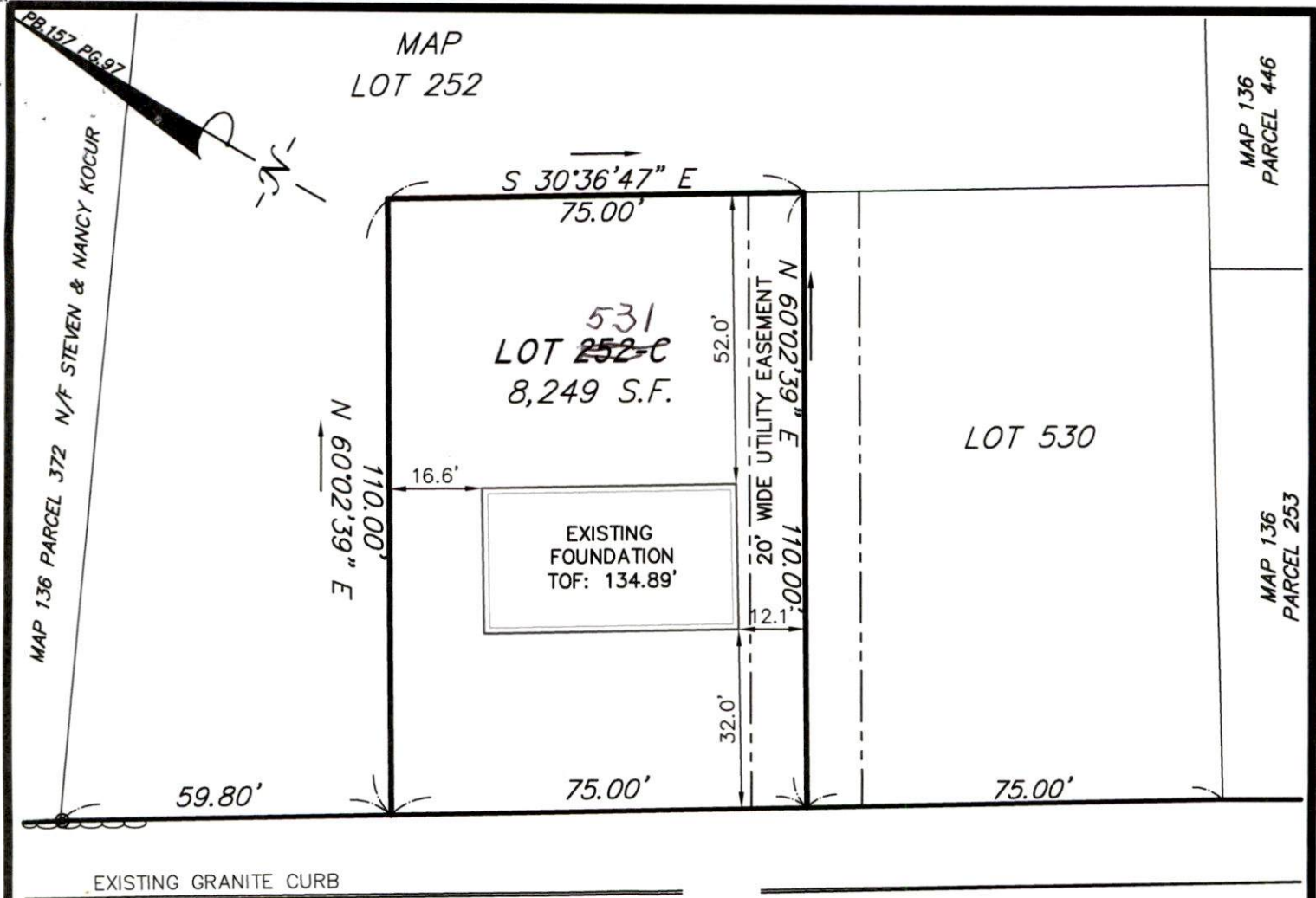


SKETCH PLAN



BUILDING PERMIT PLAN

ACUSHNET AVE.



ACUSHNET

(PUBLIC - VARIABLE WIDTH)
(CITY LAYOUT No. 707)

AVENUE

BRALEY
(PUBLIC - 50' WIDE)
(CITY LAYOUT OF 1961)
ROAD

MAP 136
PARCEL 16

OWNER / APPLICANT:

DPM DEVELOPMENT CORP.
70 LAMBETH STREET
NEW BEDFORD, MA 02745
ASSESSOR'S MAP 136 PARCEL 252
DEED BOOK: 11019 PG. 280

AS-BUILT FOUNDATION PLAN

ACUSHNET AVE.
IN
NEW BEDFORD, MA



I CERTIFY THAT THE FOUNDATION SHOWN
HEREON, AS BUILT, CONFORMS TO THE CITY
OF NEW BEDFORD ZONING SETBACK
REQUIREMENTS, AND THAT SAID FOUNDATION,
AS BUILT, DOES NOT LIE IN A F.I.R.M. FLOOD
HAZARD ZONE.

PROFESSIONAL LAND SURVEYOR

DATE

DATE: DEC. 08, 2014

SCALE: 1" = 30'

**ROMANELLI
ASSOCIATES INC.**

Professional Land Surveyors
4480 Acushnet Ave. New Bedford, MA 02745
Phone (508) 995-0100 - (508) 995-6678
WWW.ROMANELLI-INC.COM

JN 14-017



**CITY OF NEW BEDFORD
MASSACHUSETTS**

D.P.I. -Engineering Division

1105 Shawmut Ave.

New Bedford, Ma. 02746

Tel: 508-991-6150

Fax: 508-961-3054 991-6152

**Ronald Labelle
Commissioner**

**Duarte M. Andrade,
Acting City Engineer**

To Whom It May Concern:

I DANIEL MONIZ-PRESIDENT OF DPM DEVELOP. CORP., being
(Name) 70 LAMBETH ST., N.B., MA 02745
(Mailing Address)

Owner of property located at LOT 531 APLUSHNET AVE., N.B.

Plot 136, Lot 531, hereby agree to allow LIND PEREIRA
(Name)

70 LAMBETH ST., NEW BEDFORD to act on my behalf including affixing my
(Mailing Address)

signature in securing permit for:

☒ Sewer/Drain Service Permits
☐ Water Service Permits
☐ Driveway Installation Permits
☐ Sidewalk Installation Permits

I further agree to conform to, and abide by, All City rules and ask regulations applicable to the permit (s) being applied for:

Name [Signature]
Signature

70 LAMBETH ST., N.B., MA 02745
Address

Date

508-9930381
Telephone number



Commonwealth of Massachusetts

CITY OF NEW BEDFORD

City Hall, Room 309, 133 William Street New Bedford, MA 02740 (508) 979-1540



FOUNDATION PERMIT

No. **B-14-2419**

11/26/2014

MSBC Sect. 111.8 - Any permit issued shall be deemed abandoned and invalid unless the work authorized by it shall have been commenced within six (6) months after its issuance.

FEE PAID \$100.00

This certifies that **LINO M. PEREIRA**

owner/contractor has permission to:

ES ACUSHNET AVE

on: **Foundations Only 1-2 Family - 100.00**

Providing that the person accepting this permit shall in every respect conform to the terms of application therefore on file in this office; to the provisions of the statute of the Commonwealth and to the by-laws of the City of New Bedford relating to the inspection, erection, enlarging, altering, raising, moving, repairing, or tearing down of a building.

Permit is issued subject to the following special requirements: (Restrictions)



Wiring Inspector



Plumbing Inspector



Building Inspector

YOUR AREA INSPECTOR IS: **Thomas Welch**

Tel: (508) 979-1540 Between 8:00am - 9:00am

**NOTICE: NOTIFY INSPECTOR 48 HOURS IN
ADVANCE OF APPLYING SHEATHING OR LATHING**

OCCUPANCY PERMIT REQUIRED BEFORE OCCUPANCY

No Building or Structure shall be used or occupied until the Certificate of Use and Occupancy shall have been issued by the Building Commissioner - MSBC, Sect. 120.1

This Card Must Be Displayed in a Conspicuous Place on the Premises and Not Torn Down or Removed Until Completion of Work

SUBJECT TO MASSACHUSETTS
STATE BUILDING CODE

Raymond D. Pennington

Building Inspector

Plan Review Comments:

City of New Bedford
Dept of Public Infrastructure
1105 Shawmut Ave
New Bedford, MA 02740
(508) 979-1550

001852-0001 Erin I. 12/11/2014 12:37PM

MISCELLANEOUS

Description: DPI SEWER
PERMITS AND EXTENSIONS
(DPISEW)

DPI SEWER PERMITS AND
EXTENSIONS

1 @ 450.00

DPI SEWER PERMITS AND
EXTENSIONS

Principal	450.00
Interest	0.00

TW05-101009-	450.00D
--------------	---------

63906000-422185-	450.00C
------------------	---------

Payment Id: 28538

450.00

Subtotal	450.00
-----------------	---------------

Total	450.00
--------------	---------------

CHECK	450.00
-------	--------

Check Number 6438

Change due	0.00
-------------------	-------------

Paid by: DPM DEVELOPMENT CORP

Thank you for your payment

CUSTOMER COPY



PERMIT NO.
24414

CITY OF NEW BEDFORD
SEWER AND/OR STORM DRAIN PERMIT

DATE 12/11/14
Exp. 12/11/15

This certifies that permission is granted to

D.P.M. Development 70 Lambeth St. N.B. MA 02745
Property Owner Address Tel.

To connect a sewer and/or storm drain located at Lot 531 Acushnet Ave
Assessor's Plot 136 Lot 531, to the sewer and/or storm drain in Acushnet Ave Street

To be laid in accordance with the conditions in this application and the City of New Bedford ordinances.
TYPE OF USE RESIDENTIAL COMMERCIAL INDUSTRIAL FLOW 330 G.P.D.

If applicant other than actual property owner, attach Letter of Authorization from Property Owner.
Name Linda Pereira Tel. 508-993-0381
Mailing Address 70 Lambeth St. N.B.
The Bonded Contractor/Drain Layer authorized to perform this work is:

Name Eric Smith Address 6 SDR 35 Tel. _____
Type of Pipe Required: 6" SDR 35

PERMIT EXPIRES ONE YEAR AFTER DATE OF ISSUE

- Requires separate connections for sewage and storm drain where applicable. Storm water cannot be discharged to a sanitary sewer.
 - All work must be inspected and approved by a D.P.I. inspector before backfilling.
 - If this connection is to be part of a private service shared jointly with other building owners, attach copy of Recorded Joint Maintenance Agreement.
 - Permits can be issued to Industrial and/or Commercial Applicants only upon receipt and approval by the Commissioner of Public Infrastructure of required plans and supplemental information.
 - In addition, a City-issued Industrial User Discharge Permit and/or a Sewer Extension/Connection Permit issued by the Commonwealth of Massachusetts D.E.P. shall be required by the City for Industrial Discharge into the sewer system.
- Industrial User Discharge Permit No. _____ Date _____

Comm. Mass. Sewer Conn./Ext. Permit No. _____ Date _____
A Filing and Inspection Fee of \$ 50, plus an Entrance Fee of \$ _____ where applicable, must accompany this application.

Bank# Webster Bank Check# 6438 Date 12/11/2014 Receipt# 001852-0001

Other requirements: installing sewer service from property to
existing manhole in Acushnet Ave @ Bradley Rd.
Sewer * on water card; Stales to be removed

Connection made to Sewer Part of jointly-shared private line YES ☒ NO ☐
Storm Drain

Applicant agrees to abide by the above terms, as well as all pertinent ordinances of the City of New Bedford, and such other special rules as the Commissioner of Public Infrastructure and/or City Engineer may deem necessary

Dan M. Andrade
City Engineer

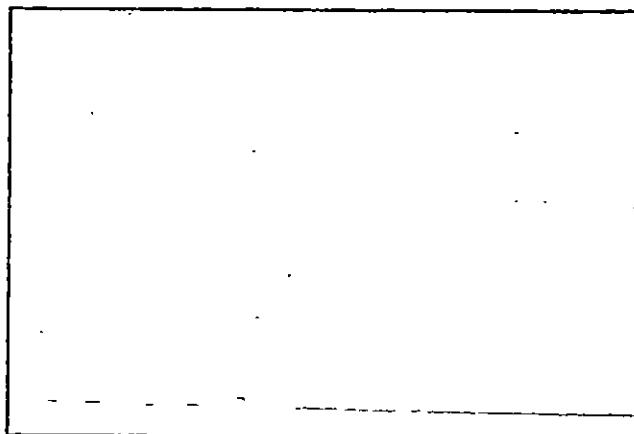
[Signature]
Signature of Property Owner or Representative

INSPECTOR'S REPORT

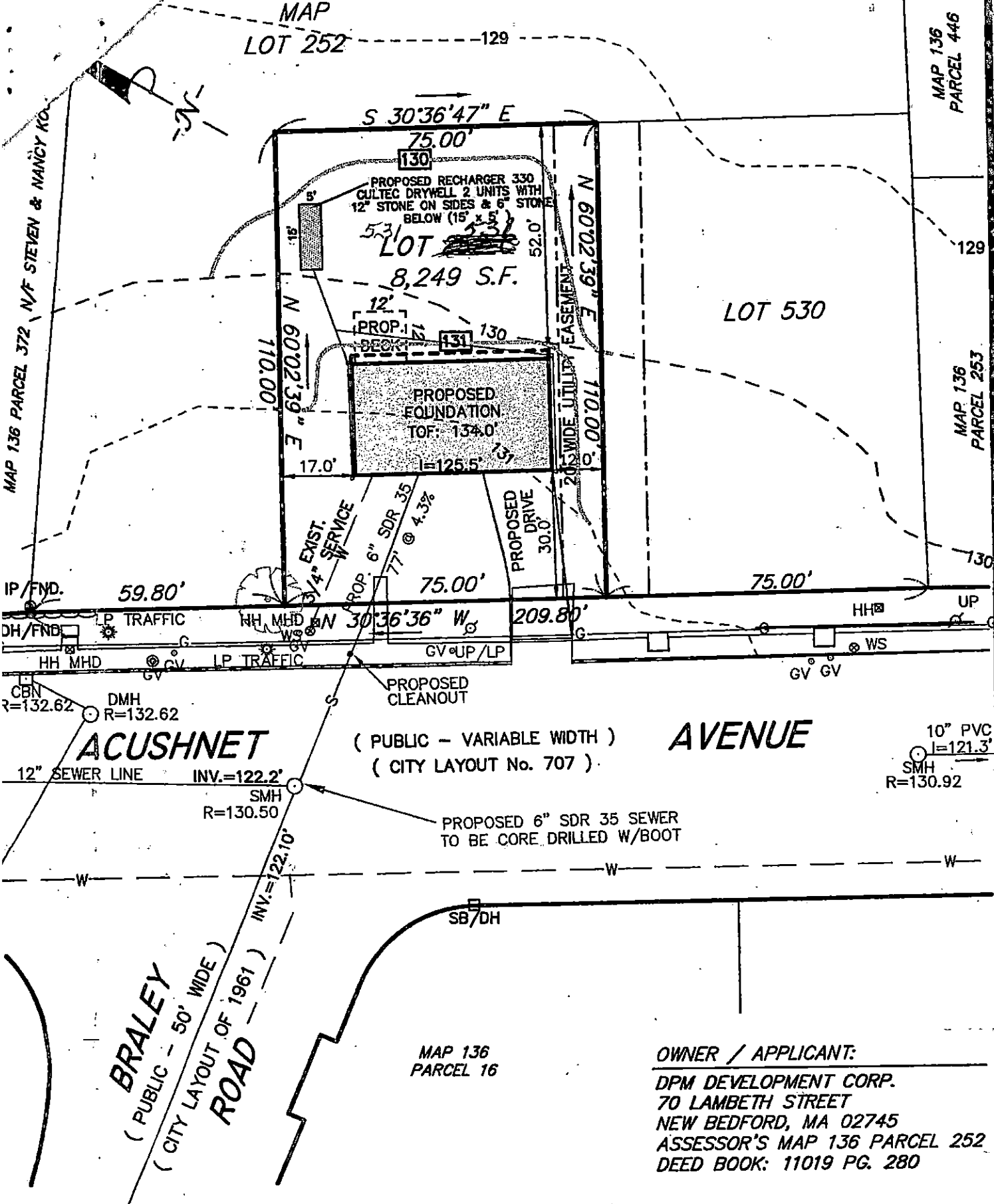
INSPECTED BY: _____
DATE: _____
COMMENTS: _____

APPROVED _____ DISAPPROVED _____

SIGNATURE



SKETCH PLAN



BUILDING PERMIT PLAN

ACUSHNET AVE.
IN
NEW BEDFORD, MA



I CERTIFY THAT THE FOUNDATION SHOWN
HEREON, AS BUILT, CONFORMS TO THE CITY
OF NEW BEDFORD ZONING SETBACK
REQUIREMENTS, AND THAT SAID FOUNDATION,
AS BUILT, DOES NOT LIE IN A F.I.R.M. FLOOD
HAZARD ZONE.

[Signature] 12/8/14
PROFESSIONAL LAND SURVEYOR DATE

DATE: DEC. 08, 2014
SCALE: 1" = 30'

**ROMANELLI
ASSOCIATES INC.**

Professional Land Surveyors
4480 Acushnet Ave. New Bedford, MA 02745
Phone (508) 995-0100 - (508) 995-6678
WWW.ROMANELLI-INC.COM

JN 14-017

ERUC Smith

1/15/15

LOT 531

ACOSTA, AVES @ PARKWAY RD.

(NORTH END)

