

Sewer extension

Expires 7/10/15



PERMIT NO.

CITY OF NEW BEDFORD  
SEWER AND/OR STORM DRAIN PERMIT

DATE 7/10/14

24392

This certifies that permission is granted to

Property Owner DPM Development Address 10 Lombeth Street Tel. (508) 993-0381  
NB. MA 01745

To connect a sewer and/or storm drain located at Beal Street Ave (E.S.) 148' N x Jessica Lane

Assessor's Plot 136 Lot 530, to the sewer and/or storm drain in connecting into 10' Acushnet Street

To be laid in accordance with the conditions in this application and the City of New Bedford ordinances.

TYPE OF USE: RESIDENTIAL COMMERCIAL INDUSTRIAL FLOW        G.P.D.

If applicant other than actual property owner, attach Letter of Authorization from Property Owner.

Name Luis Pereira Tel. 508-993-0381

Mailing Address 10 Lombeth St

The Bonded Contractor/Drain Layer authorized to perform this work is:

Name B.T. Candia Address        Tel.       

Type of Pipe Required: SDR 35 PVC

PERMIT EXPIRES ONE YEAR AFTER DATE OF ISSUE

- Requires separate connections for sewage and storm drain where applicable. Storm water cannot be discharged to a sanitary sewer.
- All work must be inspected and approved by a D.P.I. inspector before backfilling.
- If this connection is to be part of a private service shared jointly with other building owners, attach copy of Recorded Joint Maintenance Agreement.
- Permits can be issued to Industrial and/or Commercial Applicants only upon receipt and approval by the Commissioner of Public Infrastructure of required plans and supplemental information.
- In addition, a City-issued Industrial User Discharge Permit and/or a Sewer Extension/Connection Permit issued by the Commonwealth of Massachusetts D.E.P. shall be required by the City for Industrial Discharge into the sewer system.

Industrial User Discharge Permit No.        Date       

Comm. Mass. Sewer Conn./Ext. Permit No.        Date       

A Filing and Inspection Fee of \$ 450.00, plus an Entrance Fee of \$        where applicable, must accompany this application.

Bank# Webster Bank Check# 62338 Date 7/7/14 Receipt# 20330

Other requirements: Please call ahead 24 hr. notice for inspection

(508) 974-1570 ext 330

Connection made to Sewer Part of jointly-shared private line YES NO  
Storm Drain

Applicant agrees to abide by the above terms, as well as all pertinent ordinances of the City of New Bedford, and such other special rules as the Commissioner of Public Infrastructure and/or City Engineer may deem necessary

[Signature]  
City Engineer

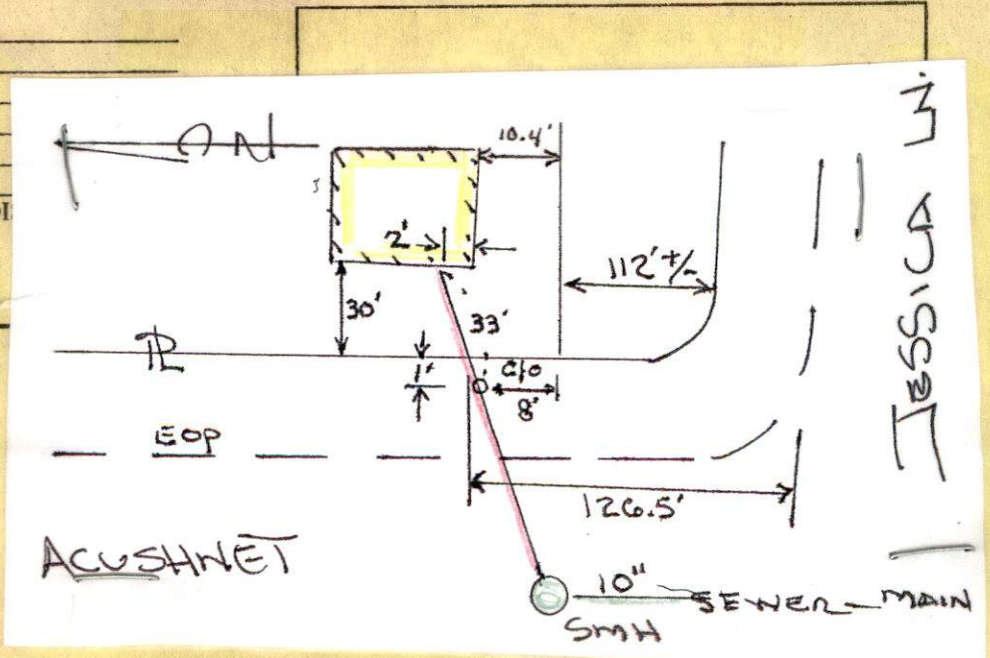
[Signature]  
Signature of Property Owner or Representative

INSPECTOR'S REPORT

INSPECTED BY:         
DATE:         
COMMENTS:       

APPROVED        DI

SEE WHITE SHEET  
SIGNATURE





Inspection: Wednesday 8/18/14  
2 afternoon / after lunch

Inspector Ed Pines 7/10/15



PERMIT NO.  
24392

CITY OF NEW BEDFORD  
SEWER AND/OR STORM DRAIN PERMIT

DATE 7/10/14

This certifies that permission is granted to

DPM Development 10 Lombeth Street (SDR) 993-0381  
Property Owner Address NB. MA 02745 Tel.

To connect a sewer and/or storm drain located at Acushnet Ave (E.S.) 148' N. Jessica Lane

Assessor's Plot 134 Lot 530, to the sewer and/or storm drain in connecting into 10' Acushnet  
Sewer Street Ave

To be laid in accordance with the conditions in this application and the City of New Bedford ordinances.

TYPE OF USE: RESIDENTIAL COMMERCIAL INDUSTRIAL FLOW G.P.D.

If applicant other than actual property owner, attach Letter of Authorization from Property Owner.

Name Lino Perreira Tel. SDR-993-0381

Mailing Address 10 Lombeth St.

The Bonded Contractor/Drain Layer authorized to perform this work is:

H.V. Canessa W.C. Smith

Name Address Tel.

Type of Pipe Required: SDR 35 PVC

ON Plot  
F-17 P.212A

PERMIT EXPIRES ONE YEAR AFTER DATE OF ISSUE

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- Industrial User Discharge Permit No. Date.

Comm. Mass. Sewer Conn./Ext. Permit No. Date.

A Filing and Inspection Fee of \$450.00, plus an Entrance Fee of \$ where applicable, must accompany this application.

Bank# Webster Bank Check# 6338 Date 7/7/14 Receipt# 20330

Other requirements: Please call ahead 24 hr. notice for inspection

(SDR) 979 1550 ext 506

Connection made to (Sewer) Part of jointly-shared private line YES NO  
Storm Drain

Applicant agrees to abide by the above terms, as well as all pertinent ordinances of the City of New Bedford, and such other special rules as the Commissioner of Public Infrastructure and/or City Engineer may deem necessary

City Engineer

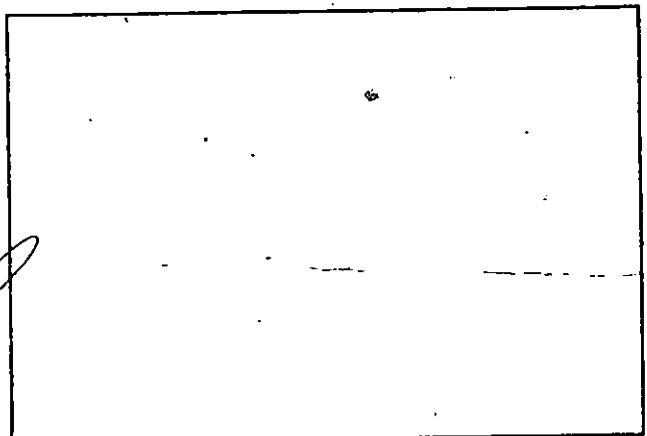
Signature of Property Owner or Representative

INSPECTOR'S REPORT

INSPECTED BY: RB  
DATE: 8/21/14  
COMMENTS:

APPROVED DISAPPROVED

SIGNATURE



SKETCH PLAN

Expires 7/10/15



PERMIT NO.

24392

CITY OF NEW BEDFORD  
SEWER AND/OR STORM DRAIN PERMIT

DATE 7/10/14

This certifies that permission is granted to

DPN Development 10 Lombeth Street (SOS) 993-0381  
Property Owner Address NB. MA 02745 Tel.

To connect a sewer and/or storm drain located at Acushnet Ave (ES) 148' N. Jessica Lane.

Assessor's Plot 134 Lot 530, to the sewer and/or storm drain in connecting into 10' Acushnet Ave.

To be laid in accordance with the conditions in this application and the City of New Bedford ordinances.

TYPE OF USE: RESIDENTIAL COMMERCIAL INDUSTRIAL FLOW G.P.D.

If applicant other than actual property owner, attach Letter of Authorization from Property Owner.

Name Lino Perreira Tel. SOS-993-0381

Mailing Address 10 Lombeth St.

The Bonded Contractor/Drain Layer authorized to perform this work is:

R. J. Canessa

Name Address Tel.

Type of Pipe Required: SDR 35 PVC

PERMIT EXPIRES ONE YEAR AFTER DATE OF ISSUE

- Requires separate connections for sewage and storm drain where applicable. Storm water cannot be discharged to a sanitary sewer.
  - All work must be inspected and approved by a D.P.I. inspector before backfilling.
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  - In addition, a City-issued Industrial User Discharge Permit and/or a Sewer Extension/Connection Permit issued by the Commonwealth of Massachusetts D.E.P. shall be required by the City for Industrial Discharge into the sewer system.
- Industrial User Discharge Permit No. Date

Comm. Mass. Sewer Conn./Ext. Permit No. Date  
A Filing and Inspection Fee of \$450.00, plus an Entrance Fee of \$ where applicable, must accompany this application.

Bank# Webster Bank Check# 6338 Date 7/7/14 Receipt# 20330

Other requirements: Please call ahead 24 hr notice for inspection

(SOS) 979 1550 ext 506

Connection made to Sewer Part of jointly-shared private line YES NO  
Storm Drain

Applicant agrees to abide by the above terms, as well as all pertinent ordinances of the City of New Bedford, and such other special rules as the Commissioner of Public Infrastructure and/or City Engineer may deem necessary

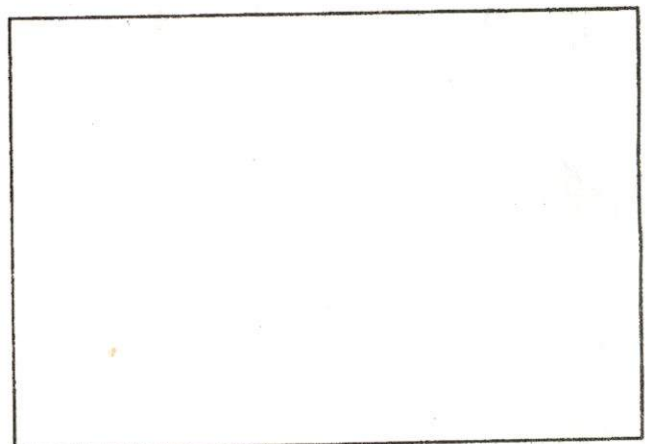
City Engineer Signature of Property Owner or Representative

INSPECTOR'S REPORT

INSPECTED BY:  
DATE:  
COMMENTS:

APPROVED DISAPPROVED

SIGNATURE



SKETCH PLAN



**CITY OF NEW BEDFORD  
MASSACHUSETTS**

DEPARTMENT OF PUBLIC WORKS  
ENGINEERING DIVISION  
133 WILLIAM STREET, ROOM 303  
NEW BEDFORD, MA 02740  
Tel: (508) 979-1527  
Fax: (508) 961-3043

To Whom It May Concern:

PRESIDENT OF DPM DEVELOPMENTS CORP  
I, DANIEL MONIZ, 70 LAMBETH ST., N.B., MA 02745, being  
(Name) (Mailing Address)

Owner of property located at 530

Plot 136, Lot 136, hereby agree to allow LINO PEREIRA  
(Name)

70 LAMBETH ST., N.B., MA 02745 to act on my behalf including affixing my  
(Mailing Address)

signature in securing permit for:

☒ Sewer/Drain Service Permits  
☒ Water Service Permits  
☒ Driveway Installation Permits  
☐ Sidewalk Installation Permits

I further agree to conform to, and abide by, all City rules and ask regulations applicable to the permit (s) being applied for:

Name

(Signature)

70 LAMBETH ST., N.B., MA 02745  
(Address)

(Date)

(Telephone number)





Commonwealth of Massachusetts

# CITY OF NEW BEDFORD

City Hall, Room 308, 133 William Street New Bedford, MA 02740 (508) 979-1540



## FOUNDATION PERMIT

6/3/2014

No. **B-14-550**

MSBC Sect. 111.8 - Any permit issued shall be deemed abandoned and invalid unless the work authorized by it shall have been commenced within six (6) months after its issuance.

FEE PAID \$#Error

This certifies that **DPM Development Corp.**

owner/contractor has permission to:

**ES ACUSHNET AVE**

on: **Foundations Only 1-2 Family - 100.00**

Providing that the person accepting this permit shall in every respect conform to the terms of application therefore on file in this office; to the provisions of the statute of the Commonwealth and to the by-laws of the City of New Bedford relating to the inspection, erection, enlarging, altering, raising, moving, repairing, or tearing down of a building.

Permit is issued subject to the following special requirements: (Restrictions)



**Wiring Inspector**



**Plumbing Inspector**



**Building Inspector**

YOUR AREA INSPECTOR IS: **Thomas Welch**

Tel: (508) 979-1540 Between 8:00am - 9:00am

**NOTICE: NOTIFY INSPECTOR 48 HOURS IN ADVANCE OF APPLYING SHEATHING OR LATHING**

**OCCUPANCY PERMIT REQUIRED BEFORE OCCUPANCY**

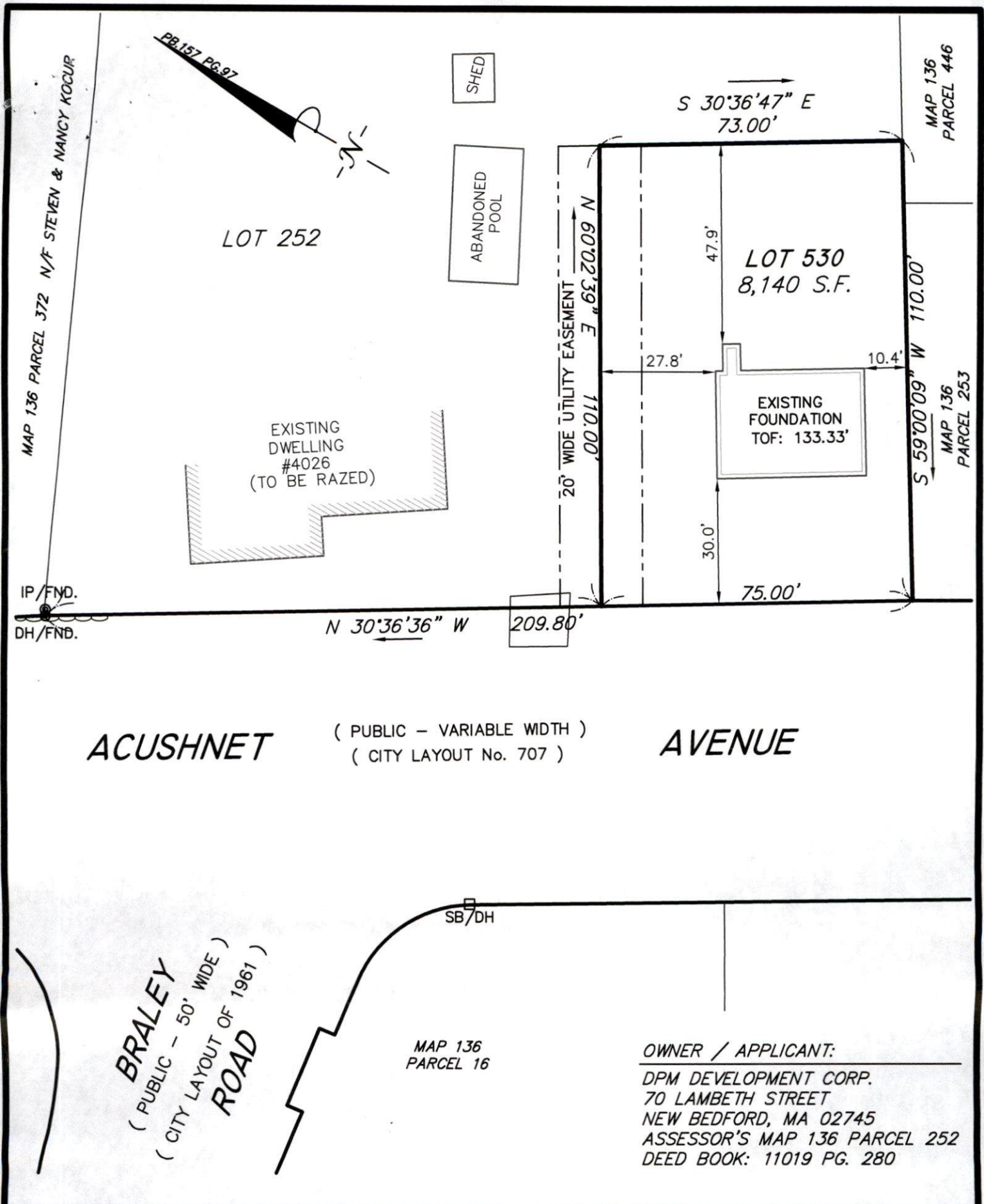
No Building or Structure shall be used or occupied until the Certificate of Use and Occupancy shall have been issued by the Building Commissioner - MSBC, Sect. 120.1

**This Card Must Be Displayed in a Conspicuous Place on the Premises and Not Torn Down or Removed Until Completion of Work**

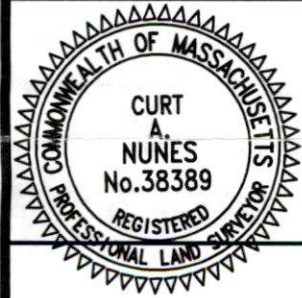
SUBJECT TO MASSACHUSETTS  
STATE BUILDING CODE

*Donny D. Pennington*

Building Inspector



FOUNDATION AS-BUILT PLAN - MAP 136 LOT 530



ACUSHNET AVE.  
IN  
NEW BEDFORD, MA

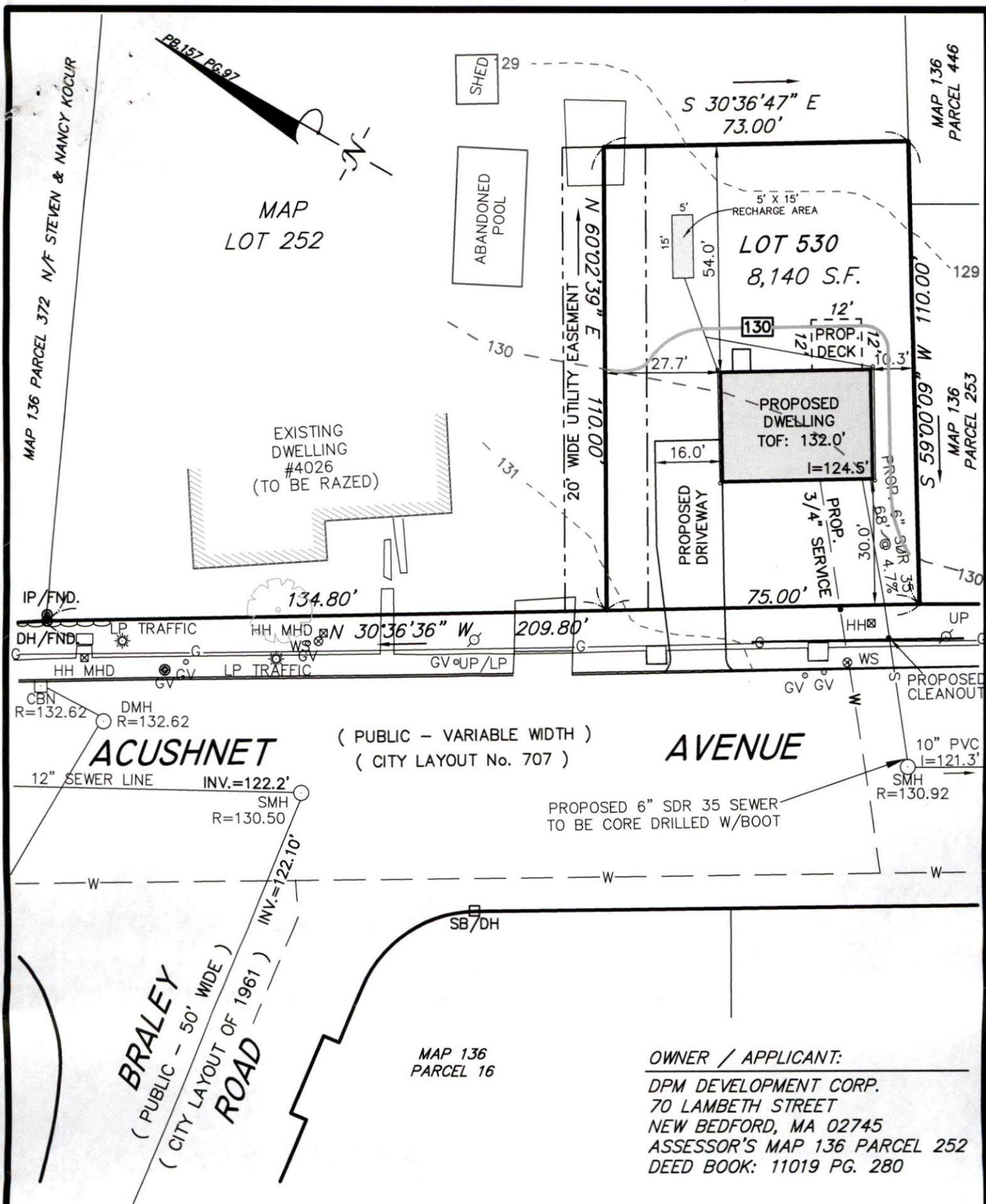
I CERTIFY THAT THE FOUNDATION SHOWN HEREON, AS BUILT, CONFORMS TO THE CITY OF NEW BEDFORD ZONING SETBACK REQUIREMENTS, AND THAT SAID FOUNDATION, AS BUILT, DOES NOT LIE IN A F.I.R.M. FLOOD HAZARD ZONE.

*[Signature]*  
PROFESSIONAL LAND SURVEYOR  
DATE 7/3/14

DATE: JULY 3, 2014  
SCALE: 1" = 30'

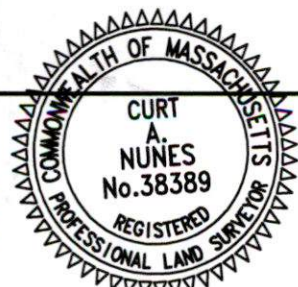
**ROMANELLI ASSOCIATES INC.**  
Professional Land Surveyors  
4480 Acushnet Ave. New Bedford, MA 02745  
Phone (508) 995-0100 - (508) 995-6678  
WWW.ROMANELLI-INC.COM





# BUILDING PERMIT PLAN

# ACUSHNET AVE. IN NEW BEDFORD, MA



THIS PLAN IS BASED ON AN INSTRUMENT SURVEY PERFORMED BY ROMANELLI ASSOCIATES, INC. ON 3/25/14.

PROFESSIONAL LAND SURVEYOR

DATE

DATE: MAY 7, 2014

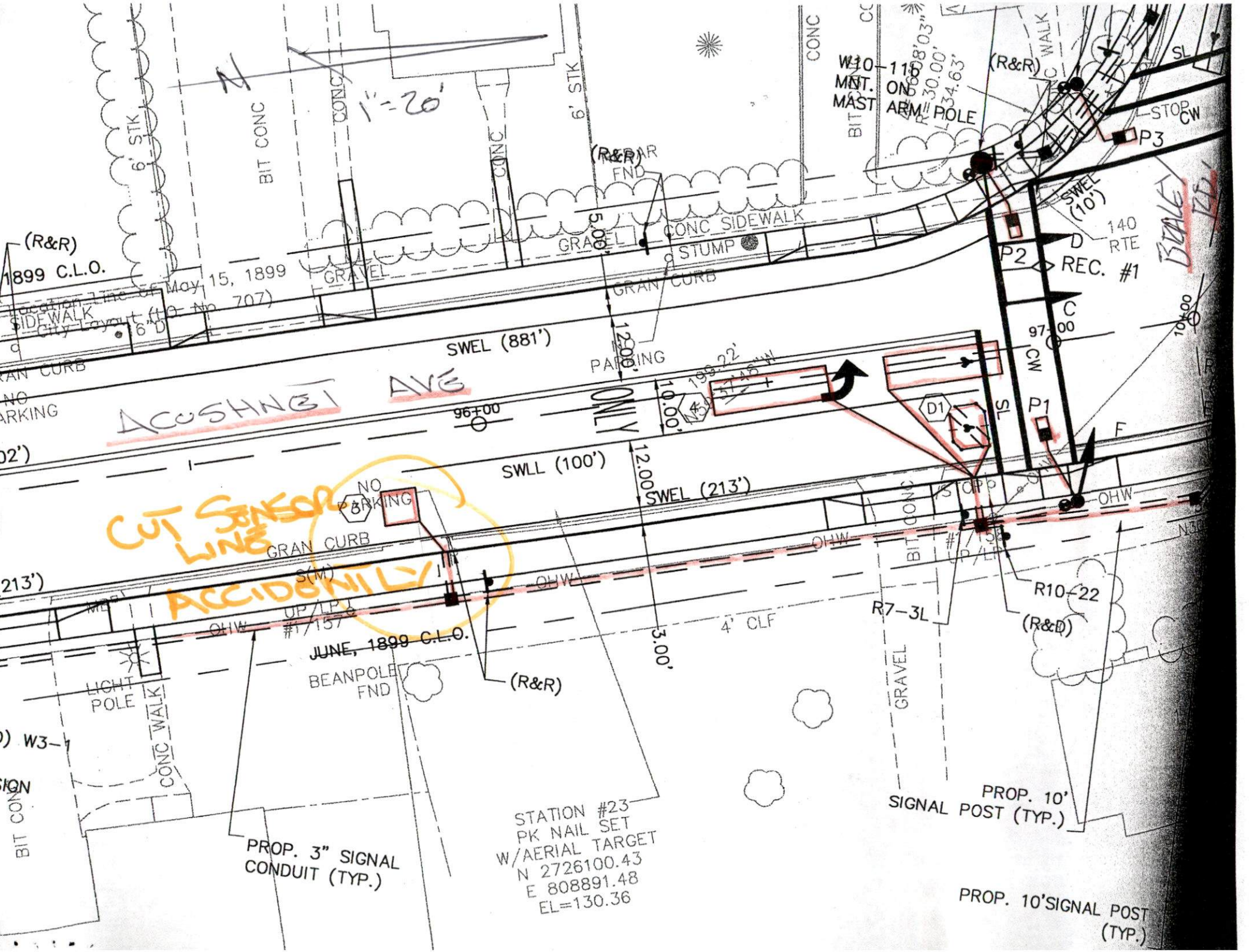
SCALE: 1" = 30'

# ROMANELLI ASSOCIATES INC.

Professional Land Surveyors  
4480 Acushnet Ave. New Bedford, MA 02745  
Phone (508) 995-0100 - (508) 995-6678  
WWW.ROMANELLI-INC.COM

JN 14-017





(R&R)  
1899 C.L.O.

Location of May 15, 1899  
City Layout (10- No 707)

NO  
PARKING

02')

213')

W3-

IGN

BIT CONC

CONC WALK

CONC

CONC

ACUSHNET AVE

**CUT SENSOR LINE**  
**ACCIDENTILY**

JUNE, 1899 C.L.O.

BEANPOLE FND

PROP. 3" SIGNAL CONDUIT (TYP.)

STATION #23  
PK NAIL SET  
W/AERIAL TARGET  
N 2726100.43  
E 808891.48  
EL=130.36

PROP. 10' SIGNAL POST (TYP.)

SWEL (881')

96+00

SWL (100')

SWEL (213')

OHW

OHW

OHW

OHW

OHW

OHW

OHW

OHW

OHW

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OHW

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OHW

PAVING

ONLY

12.00

10.00

199.22

ST 2.5' W

12.00

3.00

4' CLF

3.00

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4' CLF

3.00

4' CLF

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4' CLF

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4' CLF

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4' CLF

12.00

10.00

199.22

ST 2.5' W

12.00

3.00

4' CLF

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4' CLF

12.00

10.00

199.22

ST 2.5' W

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ST 2.5' W

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4' CLF



ONLY  
CONC  
DRAIN  
ST.  
TIE-IN LOT  
8/21/14  
8/20/14 - ~~STREET~~ SEE

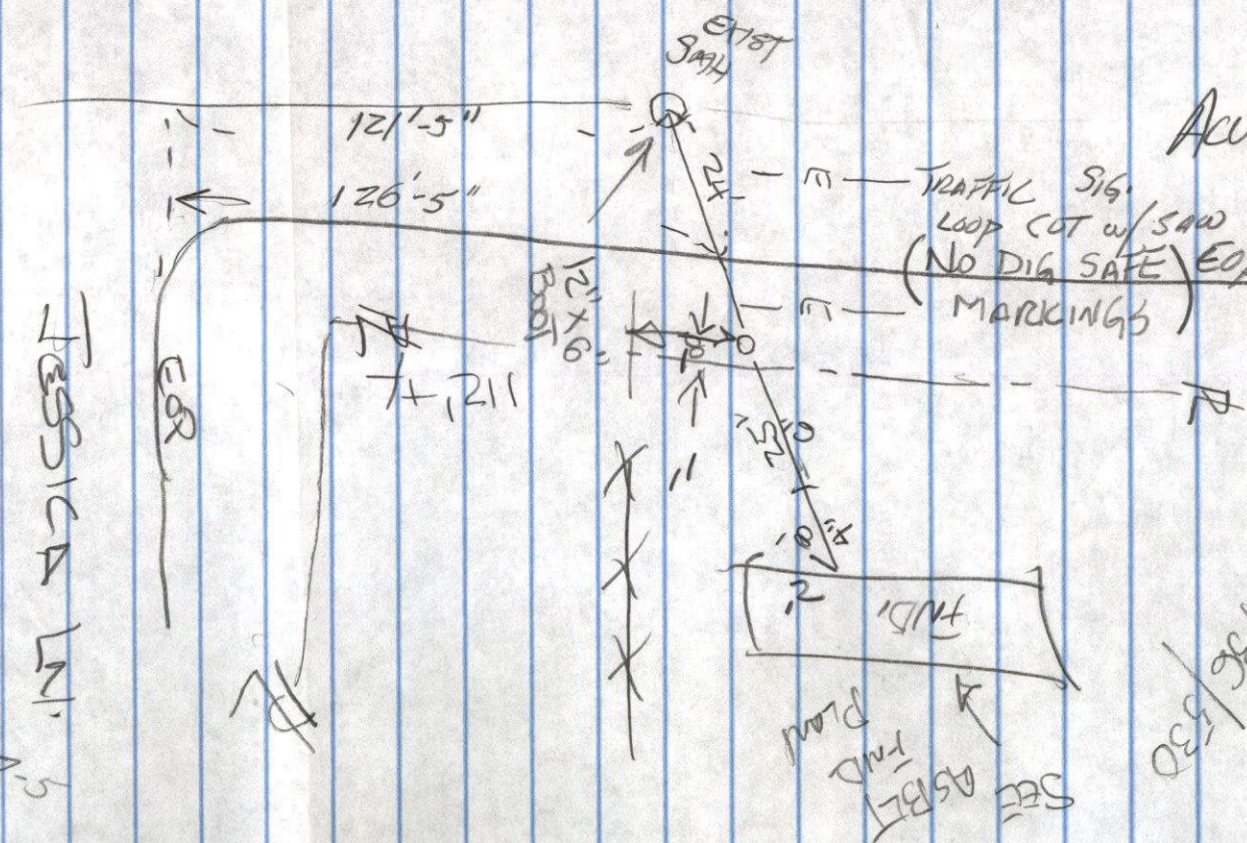
(1K)

BRACKET RT.

SEWER TIE-IN  
ERIC SMITH & SON

ACUSHNET AVE

TRAFFIC SIG.  
LOOP CUT w/ SAW CUTTING of TRENCH LIMITS  
(NO DIG SAFE) EOP &  
MARKINGS



ESSICA LN.

5-10/10