



Expires: 1/7/15

PERMIT NO.
24372

CITY OF NEW BEDFORD
SEWER AND/OR STORM DRAIN PERMIT

DATE 1/7/14

This certifies that permission is granted to

Winterman Health Trust 4 Candlemas Lane
Property Owner Address West Wareham, MA 02576 Tel.

To connect a sewer and/or storm drain located at 22 Maddie Drive

Assessor's Plot 136 Lot 502, to the sewer and/or storm drain in connecting to sewer stub @ prop line Street

To be laid in accordance with the conditions in this application and the City of New Bedford ordinances.

TYPE OF USE: RESIDENTIAL COMMERCIAL INDUSTRIAL FLOW _____ G.P.D.

If applicant other than actual property owner, attach Letter of Authorization from Property Owner.

Name _____ Tel. _____
Mailing Address _____

The Bonded Contractor/Drain Layer authorized to perform this work is:

Grand Construction 1111 Lexington Street
Name Address Tel.

Type of Pipe Required: 40" force main pipe

PERMIT EXPIRES ONE YEAR AFTER DATE OF ISSUE

- Requires separate connections for sewage and storm drain where applicable. Storm water cannot be discharged to a sanitary sewer.
 - All work must be inspected and approved by a D.P.I. inspector before backfilling.
 - If this connection is to be part of a private service shared jointly with other building owners, attach copy of Recorded Joint Maintenance Agreement.
 - Permits can be issued to Industrial and/or Commercial Applicants only upon receipt and approval by the Commissioner of Public Infrastructure of required plans and supplemental information.
 - In addition, a City-issued Industrial User Discharge Permit and/or a Sewer Extension/Connection Permit issued by the Commonwealth of Massachusetts D.E.P. shall be required by the City for Industrial Discharge into the sewer system.
- Industrial User Discharge Permit No. _____ Date _____

Comm. Mass. Sewer Conn./Ext. Permit No. _____ Date _____
A Filing and Inspection Fee of \$ 450.00 plus an Entrance Fee of \$ _____ where applicable, must accompany this application.

Bank# Mayflower Bank Check# 44601 Date 1/7/14 Receipt# _____

Other requirements: Please call ahead 24 hr notice for inspection @
(508) 979-1550 ext 502

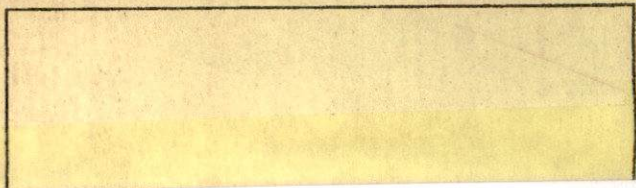
Connection made to Sewer Part of jointly-shared private line YES NO
Storm Drain

Applicant agrees to abide by the above terms, as well as all pertinent ordinances of the City of New Bedford, and such other special rules as the Commissioner of Public Infrastructure and/or City Engineer may deem necessary

Nathan Amato Philip White
City Engineer Signature of Property Owner or Representative
Chief of the Work

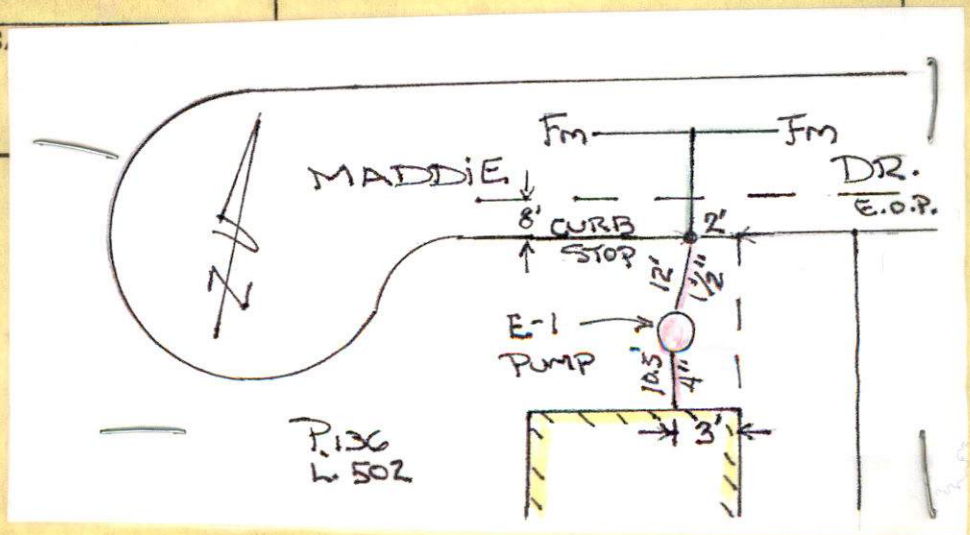
INSPECTOR'S REPORT

INSPECTED BY: _____
DATE: _____
COMMENTS: _____



APPROVED DIS.

SEE WHITE SHEET
SIGNATURE





PERMIT NO.
24372

CITY OF NEW BEDFORD
SEWER AND/OR STORM DRAIN PERMIT

Expires: 1/8/15

DATE 1/8/14

This certifies that permission is granted to

Waterman Realty Trust 4 Candlemas Lane 508 574-4103
Property Owner Address West Wareham, MA 02576 Tel.

To connect a sewer and/or storm drain located at 23 Maddie Drive

Assessor's Plot 136 Lot 502 to the sewer and/or storm drain in connecting to sewer stub at prop. line

To be laid in accordance with the conditions in this application and the City of New Bedford ordinances.

TYPE OF USE: RESIDENTIAL COMMERCIAL INDUSTRIAL FLOW G.P.D.

If applicant other than actual property owner, attach Letter of Authorization from Property Owner.

Name MIA Tel.

Mailing Address

The Bonded Contractor/Drain Layer authorized to perform this work is:

Green Construction (Luxury private prop)

Name Address Tel.

Type of Pipe Required: schedule 40 force main pipe

PERMIT EXPIRES ONE YEAR AFTER DATE OF ISSUE

- Requires separate connections for sewage and storm drain where applicable. Storm water cannot be discharged to a sanitary sewer.
 - All work must be inspected and approved by a D.P.I. inspector before backfilling.
 - If this connection is to be part of a private service shared jointly with other building owners, attach copy of Recorded Joint Maintenance Agreement.
 - Permits can be issued to Industrial and/or Commercial Applicants only upon receipt and approval by the Commissioner of Public Infrastructure of required plans and supplemental information.
 - In addition, a City-issued Industrial User Discharge Permit and/or a Sewer Extension/Connection Permit issued by the Commonwealth of Massachusetts D.E.P. shall be required by the City for Industrial Discharge into the sewer system.
- Industrial User Discharge Permit No. Date.

Comm. Mass. Sewer Conn./Ext. Permit No. Date.

A Filing and Inspection Fee of \$45.00, plus an Entrance Fee of \$ where applicable, must accompany this application.

Bank# Mafflower Bank Check# 44601 Date 1/7/14 Receipt#

Other requirements: Please call ahead 24 hr. notice for inspection @

(508) 979-1550 ext 506

Connection made to Sewer Part of jointly-shared private line YES NO
Storm Drain

Applicant agrees to abide by the above terms, as well as all pertinent ordinances of the City of New Bedford, and such other special rules as the Commissioner of Public Infrastructure and/or City Engineer may deem necessary.

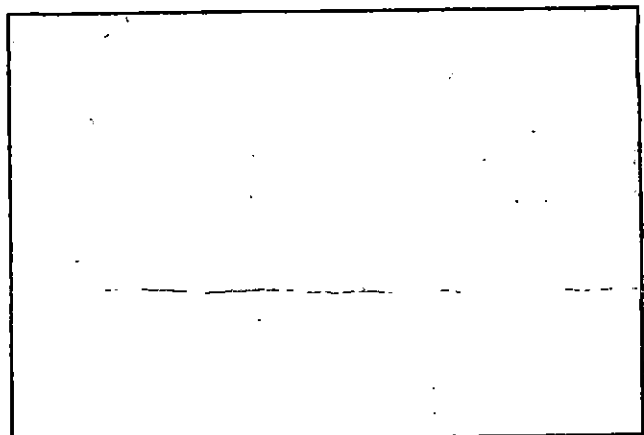
City Engineer Signature of Property Owner or Representative

INSPECTOR'S REPORT

INSPECTED BY: DATE: 3/8/14 COMMENTS:

APPROVED DISAPPROVED

SIGNATURE



SKETCH PLAN

200-14-4

Expires: 1/8/15



PERMIT NO.
24372

CITY OF NEW BEDFORD
SEWER AND/OR STORM DRAIN PERMIT

DATE 1/8/14

This certifies that permission is granted to

Waterman Realty Trust 4 Candlemas Lane (SOS) 574-4103
Property Owner Address West Wareham, MA 02576 Tel.

To connect a sewer and/or storm drain located at 23 Maddie Drive

Assessor's Plot 136 Lot 502, to the sewer and/or storm drain in connecting to sewer stub @ prop line

To be laid in accordance with the conditions in this application and the City of New Bedford ordinances.

TYPE OF USE: RESIDENTIAL COMMERCIAL INDUSTRIAL FLOW G.P.D.

If applicant other than actual property owner, attach Letter of Authorization from Property Owner.

Name Tel.

Mailing Address N/A

The Bonded Contractor/Drain Layer authorized to perform this work is:

Green Construction (working private prop)
Name Address Tel.

Type of Pipe Required: schedule 40 / force main pipe

PERMIT EXPIRES ONE YEAR AFTER DATE OF ISSUE

- Requires separate connections for sewage and storm drain where applicable. Storm water cannot be discharged to a sanitary sewer.
- All work must be inspected and approved by a D.P.I. inspector before backfilling.
- If this connection is to be part of a private service shared jointly with other building owners, attach copy of Recorded Joint Maintenance Agreement.
- Permits can be issued to Industrial and/or Commercial Applicants only upon receipt and approval by the Commissioner of Public Infrastructure of required plans and supplemental information.
- In addition, a City-issued Industrial User Discharge Permit and/or a Sewer Extension/Connection Permit issued by the Commonwealth of Massachusetts D.E.P. shall be required by the City for Industrial Discharge into the sewer system.

Industrial User Discharge Permit No. Date

Comm. Mass. Sewer Conn./Ext. Permit No. Date

A Filing and Inspection Fee of \$450.00, plus an Entrance Fee of \$ where applicable, must accompany this application.

Bank# Mayflower Bank Check# 44601 Date 1/7/14 Receipt#

Other requirements: Please call ahead 24 hr notice for inspection @

(SOS) 979-1550 ext 506

Connection made to (Sewer) Part of jointly-shared private line YES NO
Storm Drain

Applicant agrees to abide by the above terms, as well as all pertinent ordinances of the City of New Bedford, and such other special rules as the Commissioner of Public Infrastructure and/or City Engineer may deem necessary

Dan M. Amato
City Engineer

Signature of Property Owner or Representative

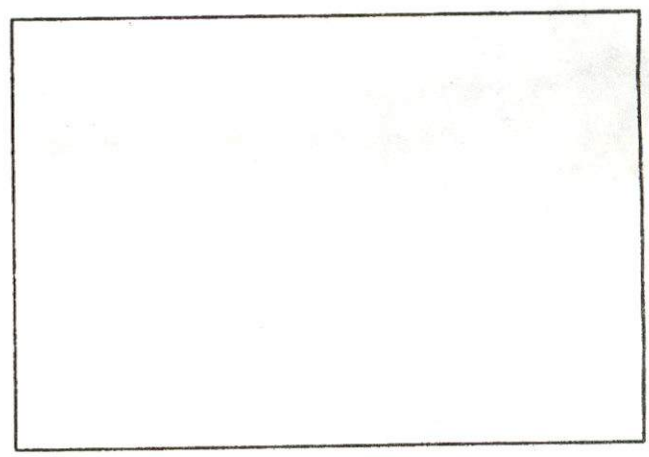
Check off the work

INSPECTOR'S REPORT

INSPECTED BY:
DATE:
COMMENTS:

APPROVED DISAPPROVED

SIGNATURE



SKETCH PLAN



City of New Bedford
Dept of Public Infrastructure
1105 Shawmut Ave
New Bedford, MA 02740
(508) 979-1550

000513-0001, Erin I. 01/08/2014 09:45AM

MISCELLANEOUS

Description: DPI SEWER
PERMITS AND EXTENSIONS
(DPISEW)

DPI SEWER PERMITS AND
EXTENSIONS

1 @ 450.00

DPI SEWER PERMITS AND
EXTENSIONS

Principal 450.00

Interest 0.00

0000-101009- 450.00D

63906000-422185- 450.00C

Payment Id: 9648

450.00

Subtotal 450.00

Total 450.00

CHECK 450.00

Check Number 4461

Change due 0.00

Paid by: WATER DEPT

Thank you for your payment

CUSTOMER COPY
DUPLICATE RECEIPT



Commonwealth of Massachusetts

CITY OF NEW BEDFORD

City Hall, Room 308, 133 William Street New Bedford, MA 02740 (508) 979-1540



FOUNDATION PERMIT

12/13/2013

No. **B-13-2195**

MSBC Sect. 111.8 - Any permit issued shall be deemed abandoned and invalid unless the work authorized by it shall have been commenced within six (6) months after its issuance.

FEE PAID \$#Error

This certifies that **MADDIE DRIVE REALTY ASSOCIATES LLC**

owner/contractor has permission to: **SS MADDIE DR**

on: **Foundations Only 1-2 Family - 100.00**

Providing that the person accepting this permit shall in every respect conform to the terms of application therefore on file in this office; to the provisions of the statute of the Commonwealth and to the by-laws of the City of New Bedford relating to the inspection, erection, enlarging, altering, raising, moving, repairing, or tearing down of a building.

Permit is issued subject to the following special requirements: (Restrictions)



Wiring Inspector



Plumbing Inspector



Building Inspector

YOUR AREA INSPECTOR IS: **Thomas Welch**

Tel: (508) 979-1540 Between 8:00am - 9:00am

NOTICE: NOTIFY INSPECTOR 48 HOURS IN ADVANCE OF APPLYING SHEATHING OR LATHING

OCCUPANCY PERMIT REQUIRED BEFORE OCCUPANCY

No Building or Structure shall be used or occupied until the Certificate of Use and Occupancy shall have been issued by the Building Commissioner - MSBC Sect. 120.1

This Card Must Be Displayed in a Conspicuous Place on the Premises and Not Torn Down or Removed Until Completion of Work

SUBJECT TO MASSACHUSETTS
STATE BUILDING CODE

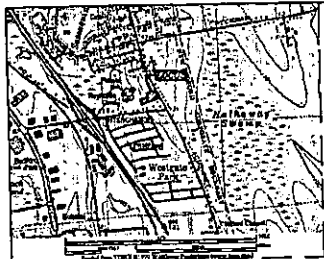
Danny O. O'Rourke

Building Inspector

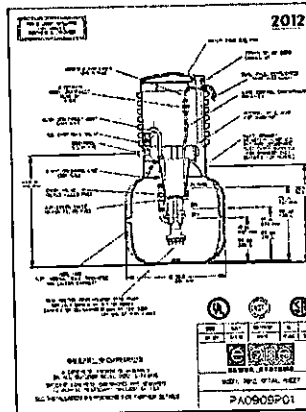
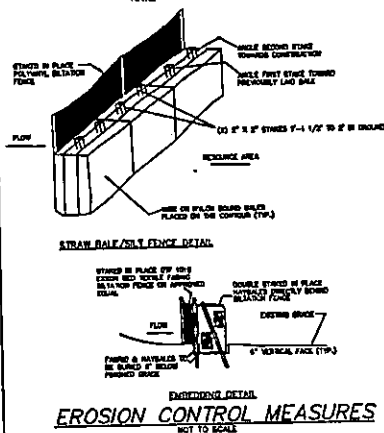
Connecting to water/sewer for 2 pipe lines



Comments	Comment Date
<p>RE: TB-13-2195 Maddie Dr. (S.S.) 324' (+/-) W. x Acushnet Ave. Plot 136/Lot 502 Reviewed 12/9/2013</p> <p>PLEASE NOTE: The correct address for the new home will be 28 Maddie Drive (Plot 136 Lot 502). The C.O. will not be signed unless the legal address assigned by the City is permanently affixed to, above, or next to, the entrance to which it was assigned, in a highly visible area.</p> <p>Requirements to be met by Owner/Developer for this project:</p> <p>1.) The new site plan that was e-mailed to DPI must be revised as follows (Sewer, water and driveway permits will not be issued until said revisions are shown on the final plan being submitted to DPI for permits): a.) The Lot 3 and Lot 3A designations must be clearly identified-these lots are being referenced throughout the plan, but Lot 3 is not called out; b.) the ownership, parcel, and legal reference info. must be corrected and reflect the current ownership; and c.) the sewer service must be shown connecting to the sewer main, not the street centerline.</p> <p>2.) Must provide 3 copies of said corrected (final) plan(s) upon applying for each permit (sewer/storm drain, water and driveway), along with a copy of the "stamped" foundation as-built plan and foundation permit. A permission slip will also be required if the owner is having the developer or other representative pulling the permits.</p> <p>TAKE NOTE:</p> <p>—Recorded easements must exist for any water, sewer and drainage pipes, and for any driveway being installed on other parcels to service the subject parcel. Copies of said recorded easement deed (and recorded easement plan) must be submitted to D.P.I. at time of applying for said permits. Permits will not be issued for installation of utilities or driveways located on property other than on the subject property until the owner/developer can provide an easement deed and easement plan that have been recorded at the Registry of Deeds proving that they have the right to do so.</p> <p>—Use of previously utilized water/sewer/storm drain services which have been left capped at the property line is at the discretion of D.P.I. These services must be tested and D.P.I. must witness said testing prior to authorizing connection to such.</p> <p>—All sewer main extensions will require filing with MA D.E.P.</p>	12/9/2013
Project must be completed per the Planning Board Subdivision Decision.	10/28/2013
required plumbing and gas permits	11/20/2013
NOTE: NEED ELECTRICIAN ALONG WITH ELECTRICAL PERMIT ATTACHED TO THIS PROJECT.	10/29/2013



LOCUS
N.E.S.



NOTES

1. THE PROPERTY IS IN ZONE C OF THE CITY OF NEW BEDFORD FLOOD INSURANCE RATE MAP COMMUNITY-PANEL NUMBER 335214 D005 B, EFFECTIVE DATE: JANUARY 5, 1984.
2. PROPERTY LINE INFORMATION TAKEN FROM "COLBY VILLAGE" A DEFINITIVE SUBDIVISION OFF ACQUISITION MAP IN NEW BEDFORD, MASSACHUSETTS DATED APRIL 13, 2005 AND LAST REVISED SEPTEMBER 7, 2005 BY OUTBACK ENGINEERING, INC. CONTRACTOR IS RESPONSIBLE TO VERIFY LOCATIONS AND ELEVATIONS OF ALL UTILITIES PRIOR TO CONSTRUCTION. ADDITIONAL INFORMATION REGARDING THE NEW SEWER AND WATER LOCATIONS HAVE BEEN PROVIDED VIA A SKETCH PROVIDED BY THE CITY OF NEW BEDFORD DPE.
3. UTILITIES SHOWN ARE APPROXIMATE AND THE CONTRACTOR SHALL NOTIFY DOWNEY (1-800-344-7233) AT LEAST 72 HOURS PRIOR TO THE ONSET OF CONSTRUCTION TO HAVE ALL EXISTING UTILITIES ALONG MAJOR DRIVE CLEARLY LOCATED.
4. SITE DEMOGRAPHIC: HYDRANT SPYHOLE ON ADJACENT AVENUE ELEVATION=122.03 (CITY OF NEW BEDFORD DPE).
5. 3 ROOF DRAIN UNITS TO BE PROVIDED ON ALL NEW PROPOSED HOUSES, PROVIDE 1 UNIT IN FRONT OF HOUSE AND 1 UNIT IN BACK OF HOUSE (SEE ROOF DRAIN DETAIL FOR ROOF DRAIN INFILTRATOR LAYOUT).
6. CLEANOUTS SHALL BE PROVIDED AS NECESSARY TO MAINTAIN THE ROOF LEADERS.
7. ALL DRIVEWAYS MUST BE A MINIMUM WIDTH OF 12' AT THE STREET LINE AND CONSTRUCTED WITH A 3" TRANSITION CURB ON BOTH SIDES. SPACES SHALL BE 6" WIDE 20' MINIMUM (SEE ZONING BY-LAWS SECT. 3130).
8. TOPOGRAPHIC AND EXISTING CONDITIONS INFORMATION TAKEN FROM A FIELD SURVEY BY OUTBACK ENGINEERING, INC. ON DECEMBER 4, 2013.

LOT COVERAGE CALCULATION

PROPOSED BUILDING COVERAGE = 830 S.F.
PROPOSED DRIVEWAY COVERAGE = 775 S.F.
PROPOSED PORCH AND WALKWAY COVERAGE = 300 S.F.
TOTAL COVERAGE = 1,905 S.F. / 2,045 S.F.
TOTAL COVERAGE = 23.1% (30% ALLOWED)

SOIL STRATA LOGS

O.H.-#4 (LOT-3)

DEPTH	125.5'
0	125.5'
10'	127.7'
18'	127.9'
24'	128.5'

A HORIZON
SANDY LOAM
10YR 2/2

B HORIZON
SANDY LOAM
10YR 5/8

ADJUSTED
WATER

128.5'



Commonwealth of Massachusetts
City of New Bedford

133 William Street New Bedford, MA 02740

SEWER PERMIT



Date: **4/9/2014**

No. **WW-14-6**

Sewer Connection Fee: **\$450.00**

Pipe Size: **0.00**

Trench Length: **0.00**

Service Location: **SS MADDIE DR**

Owner Name: **MADDIE DRIVE REALTY**

Type of Occupancy: **Residential**

Type of Work: **Sewer - New Sewer Service**

Work Description: **Sewer Permit#24372
P136 L502**

**28 Maddie Drive
connecting to sewer stub @ property line**

working priv property

No. of Units : **0** Required Design Daily Flow : **0.00** Provided Daily Flow : **0.00**

The undersigned petitions you to grant permission to ENTER INTO THE MAIN SEWER and, if such permission is granted, hereby agrees to the following:

1. To abide by the conditions and regulations imposed by the Commissioner of Public Works by statute or by ordinance now in force, or as amended from time to time.
2. That the connection of said sewer with the main sewer shall be inspected by an employee of the department of Public Works or by a designated agent of the Town before burial of said connection.
3. That the work shall at all times be under the direction and control of the Commissioner of Public Works or his authorized agent, and that any expense incurred by the Town shall be charged to the permittee, and said

permittee
agrees to reimburse the Town for said expense.

Installing Company Name: **Greco Construction**

License Type: **Hoisting Engineer**

Address: **1 Priscilla Lane**

City/Town/State: **Rochester**

MA

Call (781) 942-9077 For Inspection

CASCO 3/5/14

(K79)

24372

MATTIE

TR.

L. 502

~~22~~

