



PERMIT NO.

CITY OF NEW BEDFORD
SEWER AND/OR STORM DRAIN PERMIT

DATE

12/5/13

This certifies that permission is granted to

Property Owner

Address

Tel.

To connect a sewer and/or storm drain located at

Assessor's Plot 126 Lot 63, to the sewer and/or storm drain in

To be laid in accordance with the conditions in this application and the City of New Bedford ordinances.

TYPE OF USE: RESIDENTIAL

COMMERCIAL

INDUSTRIAL

FLOW G.P.D.

If applicant other than actual property owner, attach Letter of Authorization from Property Owner.

Name

Tel.

Mailing Address

The Bonded Contractor/Drain Layer authorized to perform this work is:

Name

Address

Tel.

Type of Pipe Required:

PERMIT EXPIRES ONE YEAR AFTER DATE OF ISSUE

- Requires separate connections for sewage and storm drain where applicable. Storm water cannot be discharged to a sanitary sewer.
 - All work must be inspected and approved by a D.P.I. inspector before backfilling.
 - If this connection is to be part of a private service shared jointly with other building owners, attach copy of Recorded Joint Maintenance Agreement.
 - Permits can be issued to Industrial and/or Commercial Applicants only upon receipt and approval by the Commissioner of Public Infrastructure of required plans and supplemental information.
 - In addition, a City-issued Industrial User Discharge Permit and/or a Sewer Extension/Connection Permit issued by the Commonwealth of Massachusetts D.E.P. shall be required by the City for Industrial Discharge into the sewer system.
- Industrial User Discharge Permit No. Date

Comm. Mass. Sewer Conn./Ext. Permit No.

Date

A Filing and Inspection Fee of \$450.00, plus an Entrance Fee of \$ where applicable, must accompany this application.

Bank#

Bank of America

Check#

16744

Date

12/5/13

Receipt#

09940

Other requirements:

Please call ahead 24 hr notice for inspection

Connection made to

Sewer

Part of jointly-shared private line

YES

NO

Storm Drain

Applicant agrees to abide by the above terms, as well as all pertinent ordinances of the City of New Bedford, and such other special rules as the Commissioner of Public Infrastructure and/or City Engineer may deem necessary

City Engineer

Signature of Property Owner or Representative

INSPECTOR'S REPORT

INSPECTED BY:

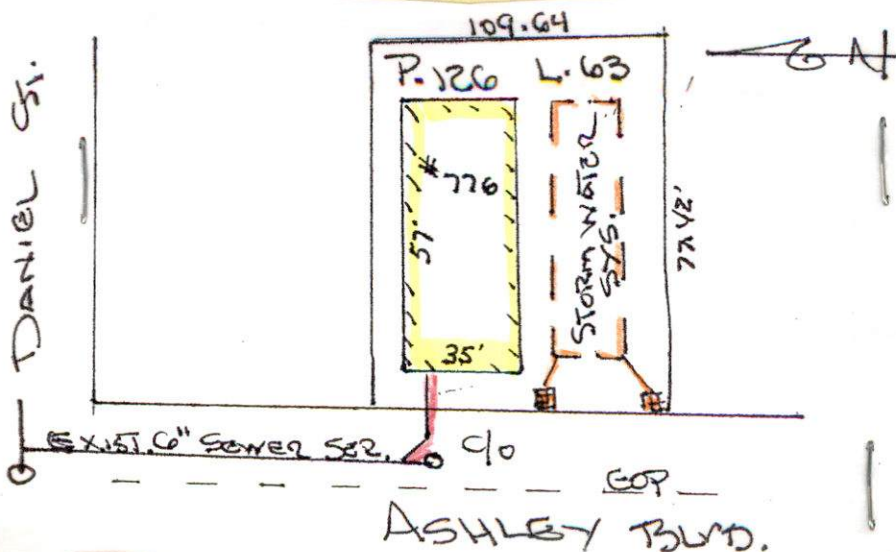
DATE:

COMMENTS:

APPROVED

DI

SIGNATURE



Two - 14-4

Expires 12/5/14



PERMIT NO.
2369

CITY OF NEW BEDFORD
SEWER AND/OR STORM DRAIN PERMIT

DATE 12/5/13

This certifies that permission is granted to

Michael Panagatos 133 Fawcett Corner Rd (508) 998-3911
Property Owner Address Dartmouth, MA Tel.

To connect a sewer and/or storm drain located at Oakley Blvd N 167 +/- X Park Ave.

Assessor's Plot 126 Lot 63, to the sewer and/or storm drain in utilizing ~~the~~ ^{sub} from previous Building into Oakley Blvd.

To be laid in accordance with the conditions in this application and the City of New Bedford ordinances.

TYPE OF USE: RESIDENTIAL COMMERCIAL INDUSTRIAL FLOW G.P.D.

If applicant other than actual property owner, attach Letter of Authorization from Property Owner.

Name Geco Construction Tel. (508) 889-2141
Mailing Address 1 Priscilla Lane, Rochester, MA
The Bonded Contractor/Drain Layer authorized to perform this work is:

Name Geco Construction Address Tel.
Type of Pipe Required: SD R 35 PVC

F-17 P.162

OP P.161

PERMIT EXPIRES ONE YEAR AFTER DATE OF ISSUE

- Requires separate connections for sewage and storm drain where applicable. Storm water cannot be discharged to a sanitary sewer.
 - All work must be inspected and approved by a D.P.I. inspector before backfilling.
 - If this connection is to be part of a private service shared jointly with other building owners, attach copy of Recorded Joint Maintenance Agreement.
 - Permits can be issued to Industrial and/or Commercial Applicants only upon receipt and approval by the Commissioner of Public Infrastructure of required plans and supplemental information.
 - In addition, a City-issued Industrial User Discharge Permit and/or a Sewer Extension/Connection Permit issued by the Commonwealth of Massachusetts D.E.P. shall be required by the City for Industrial Discharge into the sewer system.
- Industrial User Discharge Permit No. Date

Comm. Mass. Sewer Conn./Ext. Permit No. Date
A Filing and Inspection Fee of \$450.00, plus an Entrance Fee of \$ where applicable, must accompany this application.

Bank# Bank of America Check# 16744 Date 12/5/13 Receipt# 09940

Other requirements: Please call ahead 24 hr notice for inspection
@ (508) 979-1550 ext 506

Connection made to Sewer Part of jointly-shared private line YES NO
Storm Drain

Applicant agrees to abide by the above terms, as well as all pertinent ordinances of the City of New Bedford, and such other special rules as the Commissioner of Public Infrastructure and/or City Engineer may deem necessary

Norman Amadio City Engineer
Clerk of the Works
Signature of Property Owner or Representative

INSPECTOR'S REPORT

INSPECTED BY: _____
DATE: _____
COMMENTS: _____
APPROVED _____ DISAPPROVED _____

SIGNATURE

CLIFF, I DID NOT
INSPECT THIS ONE
BUT I THINK
REPAIR SEND
OUT ONE OF THE
WATER GUYS
PERCY OR MANNY?

www-14-4

Expires 12/5/14



CITY OF NEW BEDFORD
SEWER AND/OR STORM DRAIN PERMIT

DATE 12/5/13

This certifies that permission is granted to

Michael Panagakos 133 Fawcett Corner Rd (508) 998-3911
Property Owner Address Darnmouth, MA Tel.

To connect a sewer and/or storm drain located at Ashby Blvd N 167 +/- X Park Ave.

Assessor's Plot 126 Lot 63, to the sewer and/or storm drain in utilizing ~~the~~ ^{shut} from previous Building Street into Ashby Blvd.

To be laid in accordance with the conditions in this application and the City of New Bedford ordinances.

TYPE OF USE: RESIDENTIAL COMMERCIAL INDUSTRIAL FLOW _____ G.P.D.

If applicant other than actual property owner, attach Letter of Authorization from Property Owner.

Name Green Construction Tel. (508) 889-2141

Mailing Address 1 Priscilla Lane Rochester, MA

The Bonded Contractor/Drain Layer authorized to perform this work is:

Name Green Construction Address Tel.

Type of Pipe Required: SD R 35 DRC

PERMIT EXPIRES ONE YEAR AFTER DATE OF ISSUE

- Requires separate connections for sewage and storm drain where applicable. Storm water cannot be discharged to a sanitary sewer.
 - All work must be inspected and approved by a D.P.I. inspector before backfilling.
 - If this connection is to be part of a private service shared jointly with other building owners, attach copy of Recorded Joint Maintenance Agreement.
 - Permits can be issued to Industrial and/or Commercial Applicants only upon receipt and approval by the Commissioner of Public Infrastructure of required plans and supplemental information.
 - In addition, a City-issued Industrial User Discharge Permit and/or a Sewer Extension/Connection Permit issued by the Commonwealth of Massachusetts D.E.P. shall be required by the City for Industrial Discharge into the sewer system.
- Industrial User Discharge Permit No. _____ Date _____

Comm. Mass. Sewer Conn./Ext. Permit No. _____ Date _____

A Filing and Inspection Fee of \$450.00, plus an Entrance Fee of \$ _____ where applicable, must accompany this application.

Bank# Bank of America Check# 16744 Date 12/5/13 Receipt# 09940

Other requirements: Please call ahead 24 hr notice for inspection

@ (508) 979-1550 ext 506

Connection made to Sewer Part of jointly-shared private line YES NO
Storm Drain

Applicant agrees to abide by the above terms, as well as all pertinent ordinances of the City of New Bedford, and such other special rules as the Commissioner of Public Infrastructure and/or City Engineer may deem necessary

Dorinda Amado
City Engineer

X. Long
Signature of Property Owner or Representative

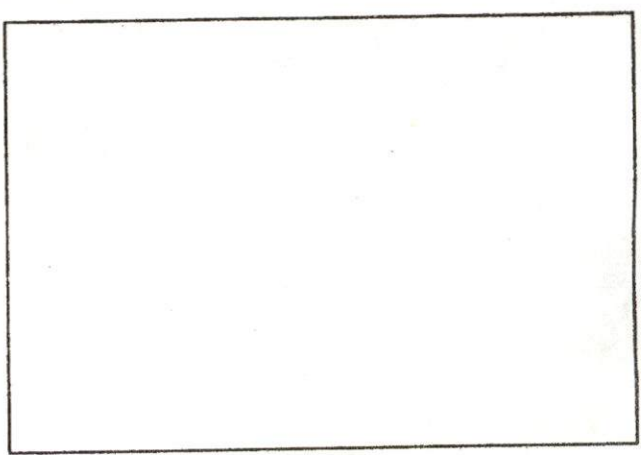
Clerk of the Works

INSPECTOR'S REPORT

INSPECTED BY: _____
DATE: _____
COMMENTS: _____

APPROVED DISAPPROVED

SIGNATURE



SKETCH PLAN

✓



Commonwealth of Massachusetts

CITY OF NEW BEDFORD

City Hall, Room 308, 133 William Street New Bedford, MA 02740 (508) 979-1540



FOUNDATION PERMIT

10/15/2013

No. B-13-1905

MSBC Sect. 111.8 - Any permit issued shall be deemed abandoned and invalid unless the work authorized by it shall have been commenced within six (6) months after its issuance.

FEE PAID \$ #Error

This certifies that PANAGAKOS MICHAEL

owner/contractor has permission to: ES ASHLEY BLVD

on: Foundations Only Comm and Indust. 200.00

Providing that the person accepting this permit shall in every respect conform to the terms of application therefore on file in this office; to the provisions of the statute of the Commonwealth and to the by-laws of the City of New Bedford relating to the inspection, erection, enlarging, altering, raising, moving, repairing, or tearing down of a building.

Permit is issued subject to the following special requirements: (Restrictions)

780 CMR - Section 116.0 - Construction Control

Wiring Inspector



Plumbing Inspector



Building Inspector

YOUR AREA INSPECTOR IS: Thomas Welch

Tel. (508) 979-1540 Between 8:00am - 9:00am

**NOTICE: NOTIFY INSPECTOR 48 HOURS IN
ADVANCE OF APPLYING SHEATHING OR LATHING**

OCCUPANCY PERMIT REQUIRED BEFORE OCCUPANCY

No Building or Structure shall be used or occupied until the Certificate of Use and Occupancy shall have been issued by the Building Commissioner - MSBC, Sect. 120.1

This Card Must Be Displayed in a Conspicuous Place on the Premises and Not Torn Down or Removed Until Completion of Work

SUBJECT TO MASSACHUSETTS
STATE BUILDING CODE

Donny D. [Signature]

Site Plan Decision Case 17-13 : This project is approved per the conditions stated in the Site Plan Decision (Case #17-13) dated August 26, 2013. NOTE: no signs were approved by the Planning Board.

776 ASHLEY BLVD.: NOTE: NEED ELECTRICIAN ALONG WITH ELECTRICAL PERMIT ATTACHED TO THIS JOB.

Manny: Plumbing and gas permits required

Civil Eng: 1. Owner to reuse the existing water service

2. Water service to be 10ft away from sewer service at all locations

Ana Rosa-D.P.I. Engrg.: TB-13-1905
E.S. Ashley Blvd. 167' +/- N. x Park Ave.
(Commercial Building [2,275 +/- S.F.])
Plot 126/Lot 63

NOTE TO ALL: Please remove the address of 776 Ashley Blvd. from all your records, and do not continue to use this address on paperwork to reference this site. This address pertained to the old building that was demolished. All address numbers for any structure cease to exist once the structure is demolished. The owner/developer of the new building on this site will need to apply for a new address.

Owner/Developer must:

- 1.) Build in accordance with approved S.P.R. plans and D.P.I. comments on said review (per Memo to Planning Board dated 7/19/2013).
- 2.) Contact D.P.I. for a preconstruction mtg. prior to beginning the project, and all requirements discussed at said mtg. must be met.
- 3.) Provide D.P.I. with a full set of the most recent construction plans for the site, reflecting all revisions requested per the above-mentioned letter, prior to beginning construction.
- 4.) Contact D.P.I. prior to applying for sewer/storm drain, water and driveway permits to review what materials will be required to be submitted to this office prior to these permits being issued. A permission letter from the property owner will be required in order for a representative/agent to sign permits. A copy of the stamped foundation as-built plan and foundation permit must also be submitted. Please note that recorded easements must exist for any water, sewer and drainage pipes being installed on other parcels to service the subject parcel, and that any sewer main extension will require filing with D.E.P. Also, if old water, sewer and/or storm drain service laterals that were previously capped are being reused, these must all pass the respective testing prior to being put back into service and D.P.I. must witness said testing.
- 5.) Contact D.P.I.-Engineering (508) 979-1550 to measure for building number (address) once front door is framed. No Certificate of Occupancy will be signed unless a legal address has been issued by Engineering and said number is permanently affixed on, above or to the side of the entrance to which it was assigned and is highly visible from the street.
- 6.) Submit final site as-built to D.P.I. showing location of building and all utilities (i.e. sewer, storm drain, water) installed as part of this project for City records. No Certificate of Occupancy will be signed until this has been submitted to D.P.I.



City of New Bedford, MA

Building Division

City Hall, Room 308, 133 William Street
New Bedford, MA 02740

RECEIPT

APPLICATION TO CONSTRUCTION, REPAIR, RENOVATE, CHANGE THE USE OR OCCUPANCY OF, OR DEMOLISH A DWELLING

Permit No #: TB-13-1905	Date Received: 9/19/2013
Signature: Christopher Simmons	Date: _____
Building Commissioner/Inspector of Buildings:	

SECTION 1 : SITE INFORMATION

1.1 Property Address ES ASHLEY BLVD	1.2 Assessors Map & Parcel Number 126-63
1.3 Zoning Information MUB Zoning District _____ Proposed Use _____	1.4 Property Dimensions 8488 Lot Area _____ Frontage (ft) _____

1.5 Building Setbacks (ft)					
Front Yard		Side Yard		Rear Yard	
Required	Provided	Required	Provided	Required	Provided
20.00	8.00	8.00	5.00	30.00	10.00
1.6 Water Supply	False	1.7 Flood Zone Information		1.8 Sewage Disposal	False
SECTION 2: PROPERTY AUTHORIZED AGENT					

Agent of Record					
Christopher Simmons		1160 Rockdale Ave		New Bedford MA 02740	
Name		Address			

SECTION 3: Description of Proposed Work

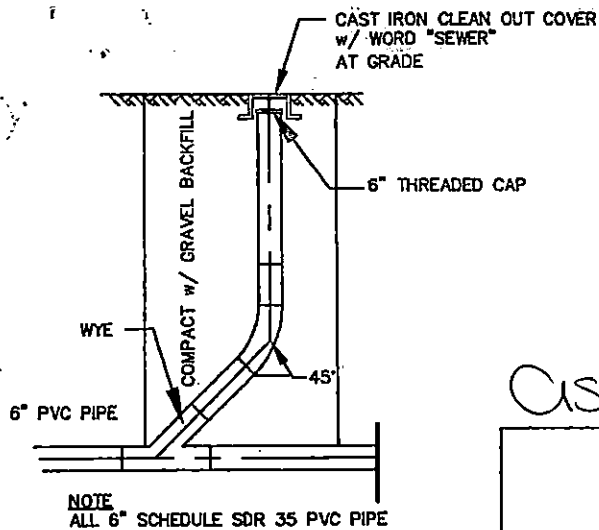
Permit For: Foundations Only Comm and Indust. 200.00
Brief Description of Proposed Work: foundation 57' x 35' m.s.

SECTION 4: Estimated Construction Costs / Permit Fees

Total Project Cost : \$10,000.00	Payment Date 10/15/2013	Amount Paid \$200.00	Check No 8366
Total Permit Fee Paid: \$200.00	Account Number : 0001 240 44300 000		

THIS IS NOT A PERMIT

DANIEL STREET
MAIN SEWER LINE



SEWER CLEAN OUT

NOT TO SCALE

Cashley Blvd N 167 1/2 x Park Ave.

HOUSE # _____

LAYOUT LINE / PL

SEWER SERVICE
LINE

C.O.

PROP. 6" PVC PIPE

PROP. 6" PVC PIPE

CAST IRON CLEAN OUT COVER
w/ WORD "SEWER"
AT GRADE

7'±

SIDEWALK

CURB LINE

EXISTING " SEWER MAIN

STREET

PROPOSED SEWER STUB DIAGRAM

NOT TO SCALE

20A



Commonwealth of Massachusetts

City of New Bedford

133 William Street New Bedford, MA 02740

SEWER PERMIT



Date: **4/9/2014**

No. **WW-14-4**

Sewer Connection Fee: **\$450.00**

Pipe Size: **0.00**

Trench Length: **0.00**

Service Location: **ES ASHLEY BLVD**

Owner Name: **PANAGAKOS MICHAEL**

Type of Occupancy: **Residential**

Type of Work: **Sewer - New Sewer Service**

Work Description: **Sewer Permit #24369
P.126 L.63**

Ashley Blvd N 167 +/- x Park Ave

utilizing stub from previous building into Ashley Blvd

No. of Units : **0** Required Design Daily Flow : **0.00** Provided Daily Flow : **0.00**

The undersigned petitions you to grant permission to ENTER INTO THE MAIN SEWER and, if such permission is granted, hereby agrees to the following:

1. To abide by the conditions and regulations imposed by the Commissioner of Public Works by statute or by ordinance now in force, or as amended from time to time.
2. That the connection of said sewer with the main sewer shall be inspected by an employee of the department of Public Works or by a designated agent of the Town before burial of said connection.
3. That the work shall at all times be under the direction and control of the Commissioner of Public Works or his authorized agent, and that any expense incurred by the Town shall be charged to the permittee, and said

permittee
agrees to reimburse the Town for said expense.

Installing Company Name: **Greco Construction**

License Type: **Hoisting Engineer**

Address: **1 Priscilla Lane**

City/Town/State: **Rochester**

MA



MAP 126, LOT 62

N/F DENNIS P. & NICOLE
GIAMPA
31 FLINT ST

MAP 126, LOT 214

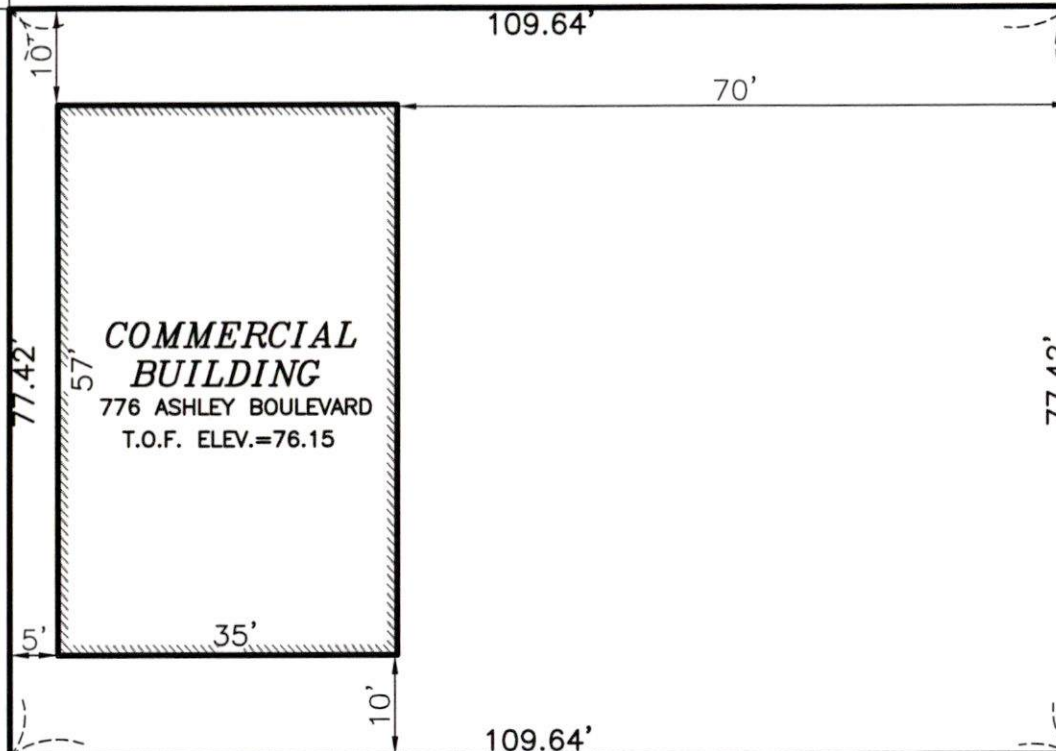
N/F WILLIAM & JANET
RENNINGER
21 FLINT ST

MAP 126, LOT 66

RESIDENCE B
MIXED USE BUSINESS

MAP 126, LOT 61

N/F
ABBOUD CARLOS S "TRUSTEE"
MOVAFAGHI GOLNAZ "TRUSTEE"
758 ASHLEY BLVD



MAP 126, LOT 65

N/F SIXTH BRISTOL DISTRICT
SOCIAL CLUB
736 ASHLEY BLVD



ASHLEY BOULEVARD

SITEC

Civil and Environmental Engineering
Land Use Planning

SITEC, Inc.

449 Faunce Corner Road
Dartmouth, MA 02747
(508) 998-2125
FAX (508) 998-7554

scale: 1"=20'

date: NOVEMBER 21, 2013

drawn: BPL

checked: BPL

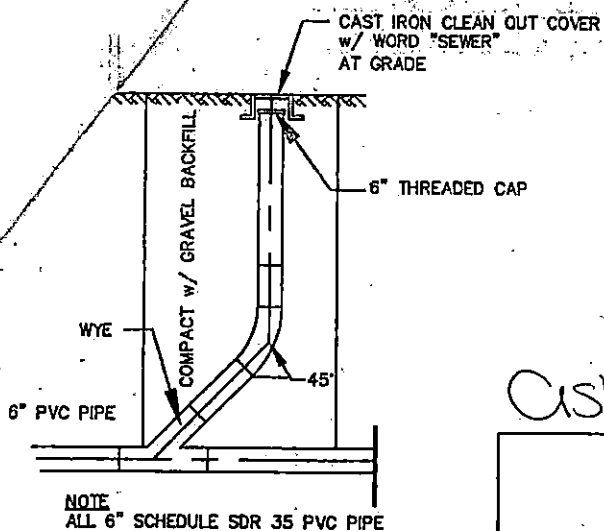
approved: SDG

project:
COMMERCIAL DEVELOPMENT
776 ASHLEY BOULEVARD
NEW BEDFORD, MASSACHUSETTS

client:
PANAGAKOS DEVELOPMENT

drawing title:
FOUNDATION AS-BUILT

sheet ____ of ____
drawing number:
FAB-1



SEWER CLEAN OUT

NOT TO SCALE

Cashley Blvd N 167 1/2 x Park Ave.

HOUSE # _____

LAYOUT LINE / PL

SEWER SERVICE
LINE

C.O.

PROP. 6" PVC PIPE

PROP. 6" PVC PIPE

CAST IRON CLEAN OUT COVER
w/ WORD "SEWER"
AT GRADE

7±

SIDEWALK

CURB LINE

EXISTING " SEWER MAIN

STREET

PROPOSED SEWER STUB DIAGRAM

NOT TO SCALE

20A

DANIEL STREET
MAIN SEWER LINE