



exp 8/13/14

PERMIT NO.

24354

CITY OF NEW BEDFORD  
SEWER AND/OR STORM DRAIN PERMIT

DATE 8/13/13

This certifies that permission is granted to

Dpm Development 70 Lombeth St. (508) 993-0381  
Property Owner Address Tel.

To connect a sewer and/or storm drain located at (U.S.) Bernum St. into 2" force main

Assessor's Plot 130A Lot 358, to the sewer and/or storm drain in Bernum St. Street

To be laid in accordance with the conditions in this application and the City of New Bedford ordinances.

TYPE OF USE: RESIDENTIAL COMMERCIAL INDUSTRIAL FLOW 330 G.P.D.

If applicant other than actual property owner, attach Letter of Authorization from Property Owner.

Name Lina Pacheco Tel.

Mailing Address 70 Lombeth St.

The Bonded Contractor/Drain Layer authorized to perform this work is:

H.T. Ceneasa P.O. Box 2643 (508) 993-3404

Name Address Tel.

Type of Pipe Required: PVC 36" DIA

PERMIT EXPIRES ONE YEAR AFTER DATE OF ISSUE

- Requires separate connections for sewage and storm drain where applicable. Storm water cannot be discharged to a sanitary sewer.
- All work must be inspected and approved by a D.P.I. inspector before backfilling.
- If this connection is to be part of a private service shared jointly with other building owners, attach copy of Recorded Joint Maintenance Agreement.
- Permits can be issued to Industrial and/or Commercial Applicants only upon receipt and approval by the Commissioner of Public Infrastructure of required plans and supplemental information.
- In addition, a City-issued Industrial User Discharge Permit and/or a Sewer Extension/Connection Permit issued by the Commonwealth of Massachusetts D.E.P. shall be required by the City for Industrial Discharge into the sewer system.

Industrial User Discharge Permit No. Date

Comm. Mass. Sewer Conn./Ext. Permit No. Date

A Filing and Inspection Fee of \$150, plus an Entrance Fee of \$ where applicable, must accompany this application.

Bank# Webster Bank Check# 6080 Date 8/13/13 Receipt# 9763

Other requirements: Please call ahead 24 hr notice to (508) 993-1570

ext 500

Connection made to Sewer Part of jointly-shared private line YES NO  
Storm Drain

Applicant agrees to abide by the above terms, as well as all pertinent ordinances of the City of New Bedford, and such other special rules as the Commissioner of Public Infrastructure and/or City Engineer may deem necessary

+ Daniel M. Amado  
City Engineer  
Close of the Works

Signature of Property Owner or Representative

INSPECTOR'S REPORT

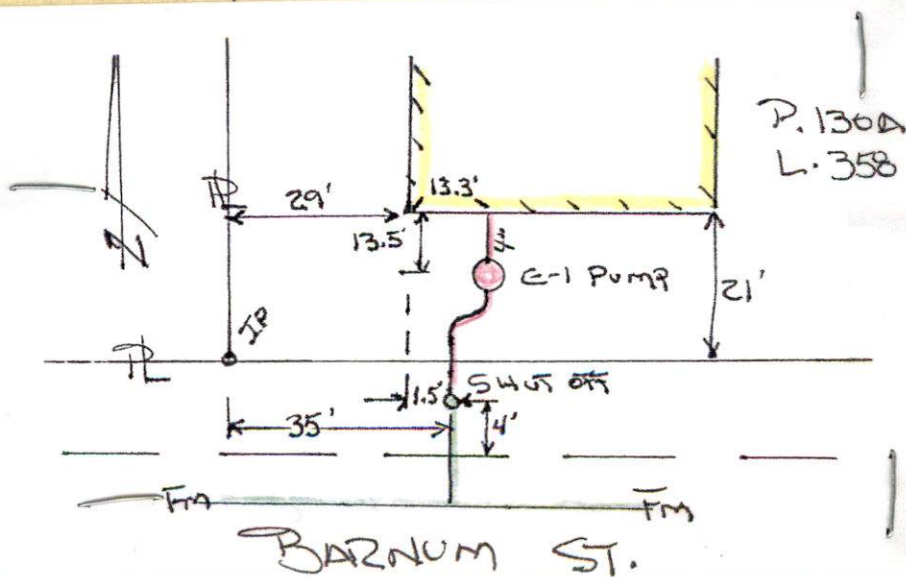
INSPECTED BY:

DATE:

COMMENTS:

APPROVED DISA

SEE WHITE SHEET  
SIGNATURE







Inspector  
expires 8/13/14

PERMIT NO.  
24354

CITY OF NEW BEDFORD  
SEWER AND/OR STORM DRAIN PERMIT

DATE 8/13/13

This certifies that permission is granted to

D.P.M. Development 70 Lombeth St. (508) 993-0381  
Property Owner Address VB, MA. 01945 Tel.

To connect a sewer and/or storm drain located at (U.S.) Bernum St. into 2" force main

Assessor's Plot 130A Lot 358, to the sewer and/or storm drain in Bernum St. Street

To be laid in accordance with the conditions in this application and the City of New Bedford ordinances.  
TYPE OF USE: RESIDENTIAL COMMERCIAL INDUSTRIAL FLOW 330 G.P.D.

If applicant other than actual property owner, attach Letter of Authorization from Property Owner.

Name: Lina Pereira Tel.

Mailing Address: 70 Lombeth St.

The Bonded Contractor/Drain Layer authorized to perform this work is:

P.J. Conessa P.O. Box 2643 (508) 998-3404

Name Address Tel.

Type of Pipe Required: P.V.C. 35

PERMIT EXPIRES ONE YEAR AFTER DATE OF ISSUE

- Requires separate connections for sewage and storm drain where applicable. Storm water cannot be discharged to a sanitary sewer.
  - All work must be inspected and approved by a D.P.I. inspector before backfilling.
  - If this connection is to be part of a private service shared jointly with other building owners, attach copy of Recorded Joint Maintenance Agreement.
  - Permits can be issued to Industrial and/or Commercial Applicants only upon receipt and approval by the Commissioner of Public Infrastructure of required plans and supplemental information.
  - In addition, a City-issued Industrial User Discharge Permit and/or a Sewer Extension/Connection Permit issued by the Commonwealth of Massachusetts D.E.P. shall be required by the City for Industrial Discharge into the sewer system.
- Industrial User Discharge Permit No. Date

Comm. Mass. Sewer Conn./Ext. Permit No. Date

A Filing and Inspection Fee of \$450, plus an Entrance Fee of \$ where applicable, must accompany this application.

Bank# Water Bank Check# 6080 Date 8/13/13 Receipt# 9763

Other requirements: Please call ahead 24 hr notice @ (508) 979-1550

ext 500

Connection made to Sewer Part of jointly-shared private line YES NO  
Storm Drain

Applicant agrees to abide by the above terms, as well as all pertinent ordinances of the City of New Bedford, and such other special rules as the Commissioner of Public Infrastructure and/or City Engineer may deem necessary.

City Engineer Clerk of the Works Signature of Property Owner or Representative

INSPECTOR'S REPORT

INSPECTED BY: DATE: 9/13/13  
COMMENTS:

APPROVED

DISAPPROVED

SIGNATURE

SKETCH PLAN

WW-15-28

expirws 8/13/14



PERMIT NO.  
24354

CITY OF NEW BEDFORD  
SEWER AND/OR STORM DRAIN PERMIT

DATE 8/13/13

This certifies that permission is granted to

Dpm Development 70 Lombeth St. (508) 993-0381  
Property Owner Address UB, MA. 01945 Tel.  
(U.S.) 288 Ex Monb St.

To connect a sewer and/or storm drain located at (U.S.) Bernum St. into 2" force main.

Assessor's Plot 130A Lot 358, to the sewer and/or storm drain in Bernum St. Street  
stub at property line

To be laid in accordance with the conditions in this application and the City of New Bedford ordinances.

TYPE OF USE: RESIDENTIAL COMMERCIAL INDUSTRIAL FLOW 330 G.P.D.

If applicant other than actual property owner, attach Letter of Authorization from Property Owner.

Name Uno Pereira Tel.

Mailing Address 70 Lombeth St.

The Bonded Contractor/Drain Layer authorized to perform this work is:

H.J. Conessa P.O. Box 2643 (508) 998-3404

Name Address Tel.

Type of Pipe Required: PVC SD 35

PERMIT EXPIRES ONE YEAR AFTER DATE OF ISSUE

- Requires separate connections for sewage and storm drain where applicable. Storm water cannot be discharged to a sanitary sewer.
- All work must be inspected and approved by a D.P.I. inspector before backfilling.
- If this connection is to be part of a private service shared jointly with other building owners, attach copy of Recorded Joint Maintenance Agreement.
- Permits can be issued to Industrial and/or Commercial Applicants only upon receipt and approval by the Commissioner of Public Infrastructure of required plans and supplemental information.
- In addition, a City-issued Industrial User Discharge Permit and/or a Sewer Extension/Connection Permit issued by the Commonwealth of Massachusetts D.E.P. shall be required by the City for Industrial Discharge into the sewer system.

Industrial User Discharge Permit No. Date

Comm. Mass. Sewer Conn./Ext. Permit No. Date

A Filing and Inspection Fee of \$450, plus an Entrance Fee of \$ where applicable, must accompany this application.

Bank# Webster Bank Check# 6080 Date 8/13/13 Receipt# 9763

Other requirements: Please call ahead 24 hr notice to (508) 979-1550

ext 500

Connection made to Sewer Part of jointly-shared private line YES NO  
Storm Drain

Applicant agrees to abide by the above terms, as well as all pertinent ordinances of the City of New Bedford, and such other special rules as the Commissioner of Public Infrastructure and/or City Engineer may deem necessary

+ [Signature] Amadeo  
City Engineer

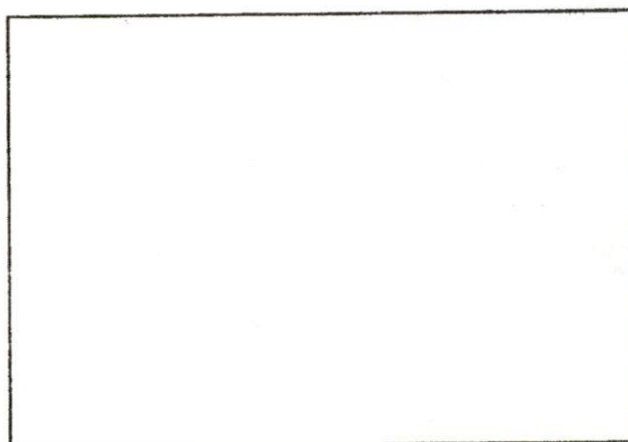
+ [Signature]  
Signature of Property Owner or Representative

INSPECTOR'S REPORT

INSPECTED BY: \_\_\_\_\_  
DATE: \_\_\_\_\_  
COMMENTS: \_\_\_\_\_

APPROVED DISAPPROVED

SIGNATURE



SKETCH PLAN





Department of Public Infrastructure

Ronald H. Labelle  
Commissioner

CITY OF NEW BEDFORD

Jonathan F. Mitchell, Mayor

Water  
Wastewater  
Highways  
Engineering  
Cemetery

To Whom It May Concern:

I DENIEL MONIZ PRESIDENT DPM DEVELOP. CORP., being  
(Name) (Mailing Address)

70 LAMBETH ST, N. B. 02745  
Owner of property located at

BARNUM STREET

Plot 130A, Lot 358, hereby agree to allow LINO PEREIRA  
(Name)

70 LAMBETH ST, NEW BEDFORD, to act on my behalf including affixing my  
(Mailing Address)

signature in securing permit for:

☒ Sewer/Drain Service Permits  
☒ Water Service Permits  
☒ Driveway Installation Permits  
☐ Sidewalk Installation Permits

I further agree to conform to, and abide by, All City rules and ask regulations applicable to the permit (s) being applied for:

Name [Signature]  
Signature

70 LAMBETH ST, N. B., MA 02745  
Address

8/13/13 508-993-0381  
Date Telephone number

**Plan Review Comments: :**

conservation agent : all work to be completed in accordance with SE49-672

Jr. Civil Eng.: Owner to apply for a water permit

Ana Rosa-DPI: Originally Reviewed 7/24/2012-comments remain the same.

RE: TB-12-638 Barnum St. (NS) 288' E. of Morris St.  
(Plot 130A/Lot 358)

Owner/Builder:

- 1.) Please take note that this dwelling (to face Barnum St.) is being built on a "private" street, and thus is not eligible for City services (i.e. trash pickup, plowing, street maintenance, etc.) unless/until it is put forth by the owner for Acceptance by the City;
- 2.) Must submit a plan showing sewer, water, storm water recharge structure (on private property) and driveway size/location for review/approval prior to DPI permits being issued;
- 3.) Must submit proof that the owner/builder has filed with DEP (BRPWP72 Minor Sewer Main Extension < 1,000 feet) and provided a copy and as-built of said sewer main extension to DPI. No permits for sewer service connections will be issued otherwise;
- 4.) Must contact DPI (Engineering) for house number once front door is framed.

Ana Rosa-DPI: RE: TB-12-638 Barnum St. (NS) 288' E. of Morris St.  
(Plot 130A/Lot 358)

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- 1.) Please take note that this dwelling (to face Barnum St.) is being built on a "private" street, and thus is not eligible for City services (i.e. trash pickup, plowing, street maintenance, etc.) unless/until it is put forth by the owner for Acceptance by the City;
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- 4.) Must contact DPI (Engineering) for house number once front door is framed.





Commonwealth of Massachusetts

# CITY OF NEW BEDFORD

City Hall, Room 308, 133 William Street New Bedford, MA 02740 (508) 979-1540



## FOUNDATION PERMIT

8/23/2012

No. **B-12-638**

MSBC Sect. 111.8 - Any permit issued shall be deemed abandoned and invalid unless the work authorized by it shall have been commenced within six (6) months after its issuance.

FEE PAID \$**#Error**

This certifies that **DPM DEVELOPMENT CORP**

owner/contractor has permission to: **NS BARNUM ST**

on: **Foundations Only 1-2 Family - 100.00**

Providing that the person accepting this permit shall in every respect conform to the terms of application therefore on file in this office; to the provisions of the statute of the Commonwealth and to the by-laws of the City of New Bedford relating to the inspection, erection, enlarging, altering, raising, moving, repairing, or tearing down of a building.

Permit is issued subject to the following special requirements: (Restrictions)



**Wiring Inspector**

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_



**Plumbing Inspector**

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_



**Building Inspector**

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

YOUR AREA INSPECTOR IS: **Thomas Welch**

Tel. (508) 979-1540 Between 8:00am - 9:00am

**NOTICE: NOTIFY INSPECTOR 48 HOURS IN  
ADVANCE OF APPLYING SHEATHING OR LATHING**

**OCCUPANCY PERMIT REQUIRED BEFORE OCCUPANCY**

No Building or Structure shall be used or occupied until the Certificate of Use and Occupancy shall have been issued by the Building Commissioner - MSBC, Sect. 120.1

**This Card Must Be Displayed in a Conspicuous Place on the Premises and Not Torn Down or Removed Until Completion of Work**

SUBJECT TO MASSACHUSETTS  
STATE BUILDING CODE

*Danny D. Romanowicz*

Building Inspector





Commonwealth of Massachusetts

# City of New Bedford

133 William Street New Bedford, MA 02740

## SEWER PERMIT



Date: **10/30/2013**

No. **WW-13-28**

Sewer Connection Fee: **\$0.00**

Pipe Size: **0.00**

Trench Length: **0.00**

Service Location: **NS BARNUM ST**

Owner Name: **DPM DEVELOPMENT CORP**

Type of Occupancy: **Residential**

Type of Work: **Sewer - New Sewer Service**

Work Description: **Sewer Permit #24354  
P. 130A L.358**

**N.S. 288 E x Morris St on Barnum St**

**tying into Barnum St into 2" force main stub at property line**

No. of Units : **3** Required Design Daily Flow : **330.00** Provided Daily Flow : **0.00**

The undersigned petitions you to grant permission to ENTER INTO THE MAIN SEWER and, if such permission is granted, hereby agrees to the following:

1. To abide by the conditions and regulations imposed by the Commissioner of Public Works by statute or by ordinance now in force, or as amended from time to time.
2. That the connection of said sewer with the main sewer shall be inspected by an employee of the department of Public Works or by a designated agent of the Town before burial of said connection.
3. That the work shall at all times be under the direction and control of the Commissioner of Public Works or his authorized agent, and that any expense incurred by the Town shall be charged to the permittee, and said

permittee

agrees to reimburse the Town for said expense.

Installing Company Name: **Robert J. Canessa**

License Type: **CSL-DM  
Residential  
Demolition Only**

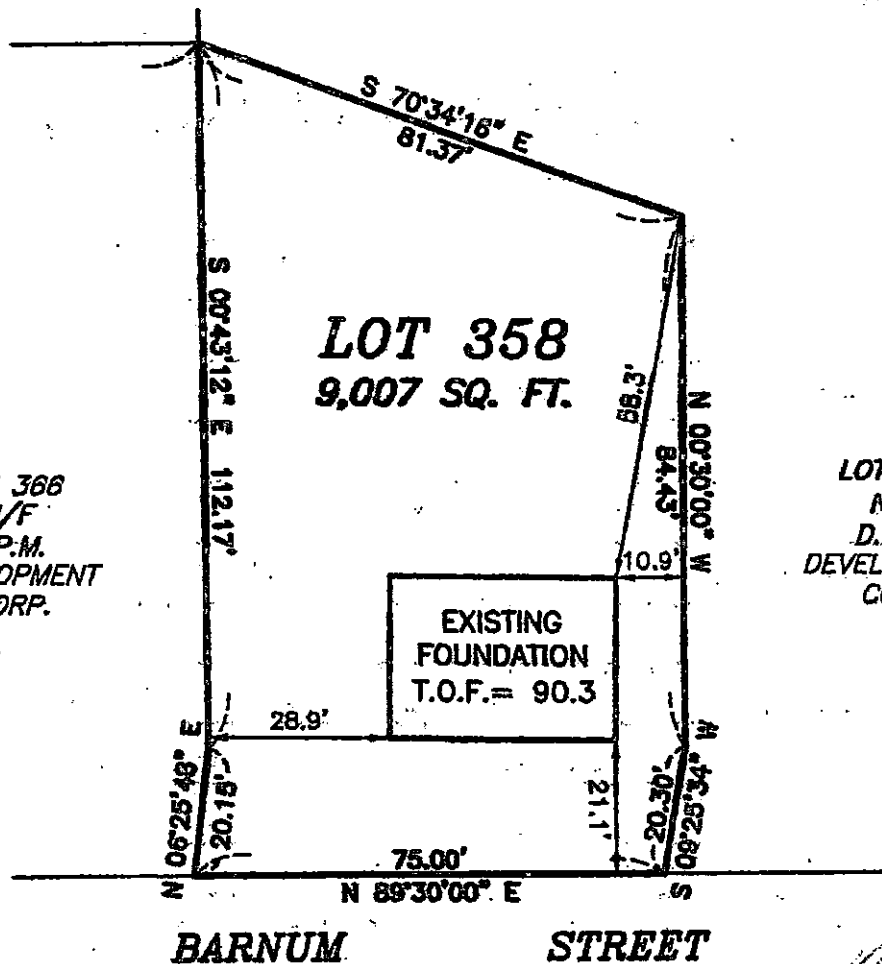
Address: **P. O. Box 51643** City/Town/State: **New Bedford MA**

**Call (781) 942-9077 For Inspection**

LOT 366  
N/F  
D.P.M.  
DEVELOPMENT  
CORP.

**LOT 358**  
**9,007 SQ. FT.**

LOT 328  
N/F  
D.P.M.  
DEVELOPMENT  
CORP.



I HEREBY CERTIFY THAT THIS PLAN RESULTS FROM AN  
ACTUAL SURVEY MADE ON THE GROUND; AND THE  
INFORMATION SHOWN HEREON IS TRUE AND ACCURATE.

*SML*  
PROFESSIONAL LAND SURVEYOR

*8/12/2013*  
DATE



**ZONING REQUIREMENTS:**

ZONE: RESIDENCE - B (RB)  
LOT AREA= 8,000 SQ. FT.  
LOT WIDTH= 75'  
SETBACKS: FRONT= 20'  
SIDES= 8'/12'  
REAR= 30'

**SITEC**

Civil and Environmental Engineering  
Land Use Planning

449 Faunce Corner Road  
Dartmouth, MA 02747  
(508) 998-2125  
FAX (508) 998-7554

scale: 1" = 30'  
date: 8-8-13  
drawn: JPT  
checked: SML  
approved: SML

project: ASSESSORS MAP 130A LOT 358  
BARNUM STREET  
NEW BEDFORD, MASSACHUSETTS

client: D.P.M. DEVELOPMENT CORP.

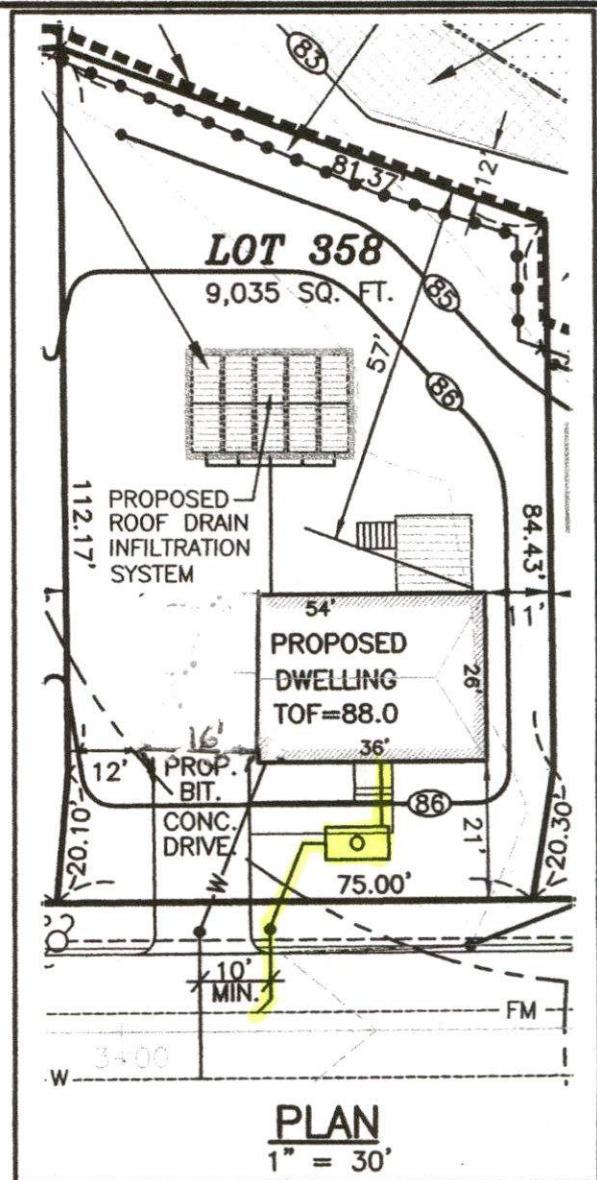
drawing title: AS-BUILT PLOT PLAN

sheet 1 of 1  
drawing number: 05-3439\_ABPP



ON THE CITY OF NEW BEDFORD DATUM.  
 IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD ZONE  
 DOD INSURANCE RATE MAP, BRISTOL COUNTY, MASSACHUSETTS  
 NO. 25005C0383F, DATED JULY 7, 2009.  
 LAND A-LINE AND B-LINE AS SHOWN WERE FLAGGED BY  
 INC. ON MAY 31, 2005.  
 LAND FLAGS 100 THROUGH 130 AS SHOWN WERE FLAGGED  
 INC. AND APPROVED BY THE CITY OF NEW BEDFORD  
 ON JULY 27, 2004 AND REESTABLISHED AND VERIFIED BY  
 NC. ON OCTOBER 27, 2011.  
 IN THE LIMIT OF WORK SHALL BE RESTORED WITH A  
 AND SEEDED.  
 G TO THE PROPOSED 2" SANITARY SEWER FORCE MAIN  
 ONE GRINDER PUMPS OR APPROVED EQUAL.  
 EQUIPPED WITH SUMP PUMPS UNLESS, AT THE TIME OF THE  
 DETERMINATION IS MADE BY A LICENSED SOIL EVALUATOR  
 WILL BE 2' ABOVE THE SEASONAL HIGH WATER TABLE.

ZONING - RESIDENCE - B (RB)  
 MINIMUM LOT SIZE - 8,000 SQ. FT.  
 FRONTAGE - 75'  
 FRONT YARD - 20'  
 SIDE YARD - 10'/12'  
 REAR YARD - 30'



**SITEC**

Civil and Environmental Engineering  
 Land Use Planning

449 Faunce Corner Road  
 Dartmouth, MA 02747  
 (508) 998-2125  
 FAX (508) 998-7554

scale: 1" = 30'  
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project:

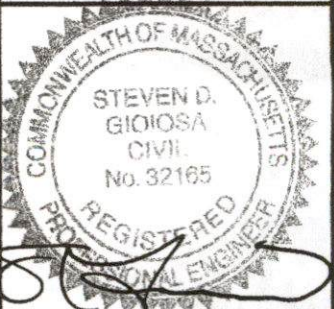
ASSESSORS MAP 130A LOT 358  
 BARNUM STREET  
 NEW BEDFORD, MASSACHUSETTS

client:

D.P.M. DEVELOPMENT CORP.

drawing title:

PLOT PLAN



sheet 1 of 1  
 drawing number:  
 05-3439\_PP

UNDERGROUND

BORDERING  
 WETLANDS

SPLIT RAIL FENCE

WATER SERVICE

SEWER SERVICE

CONTOUR



9/8/13

RT CANADA

SEWER CONDI.

PERMIT #354

