



PERMIT NO.

CITY OF NEW BEDFORD
SEWER AND/OR STORM DRAIN PERMIT

DATE 6-7-13

Expires: 6-7-14

24340

This certifies that permission is granted to

Property Owner

Address

Highway View LLC 1766 Furnace Brook Pkwy (508) 947-0050
Quincy, MA 02169 Tel. contact: Rich

To connect a sewer and/or storm drain located at

NWC Coggeshall St/Veterans Memorial Way
Stone strip mall

Assessor's Plot 93 Lot 214, to the sewer and/or storm drain in 6" service private property Street

To be laid in accordance with the conditions in this application and the City of New Bedford ordinances.

TYPE OF USE: RESIDENTIAL

COMMERCIAL

INDUSTRIAL

FLOW 220 G.P.D.

If applicant other than actual property owner, attach Letter of Authorization from Property Owner.

Name DW White / John Veins

Tel. (774) 273-0373

Mailing Address 867 Middle Rd Acushnet MA 02713

The Bonded Contractor/Drain Layer authorized to perform this work is:

Name DW White

Address 867 Middle Rd Acushnet MA

Tel. 508-763-8868

Type of Pipe Required: SDR 35 PVC

PERMIT EXPIRES ONE YEAR AFTER DATE OF ISSUE

- Requires separate connections for sewage and storm drain where applicable. Storm water cannot be discharged to a sanitary sewer.
- All work must be inspected and approved by a D.P.I. inspector before backfilling.
- If this connection is to be part of a private service shared jointly with other building owners, attach copy of Recorded Joint Maintenance Agreement.
- Permits can be issued to Industrial and/or Commercial Applicants only upon receipt and approval by the Commissioner of Public Infrastructure of required plans and supplemental information.
- In addition, a City-issued Industrial User Discharge Permit and/or a Sewer Extension/Connection Permit issued by the Commonwealth of Massachusetts D.E.P. shall be required by the City for Industrial Discharge into the sewer system.

Industrial User Discharge Permit No. _____ Date _____

Comm. Mass. Sewer Conn./Ext. Permit No. _____ Date _____

A Filing and Inspection Fee of \$ 450, plus an Entrance Fee of \$ _____ where applicable, must accompany this application.

Bank# Bristol County Bank Check# 18532 Date 6/11/13 Receipt# 10080

Other requirements: Please call ahead 24hr notice for inspection

at (508) 979-1550 ext 506. Connecting to a 6" service on

Connection made to Sewer Part of jointly-shared private line YES NO
Storm Drain see attached plan + sewer maint agreement

Applicant agrees to abide by the above terms, as well as all pertinent ordinances of the City of New Bedford, and such other special rules as the Commissioner of Public Infrastructure and/or City Engineer may deem necessary

David M. Amodeo
City Engineer

John K. Veins
Signature of Property Owner or Representative

INSPECTOR'S REPORT

INSPECTED BY: _____

DATE: _____

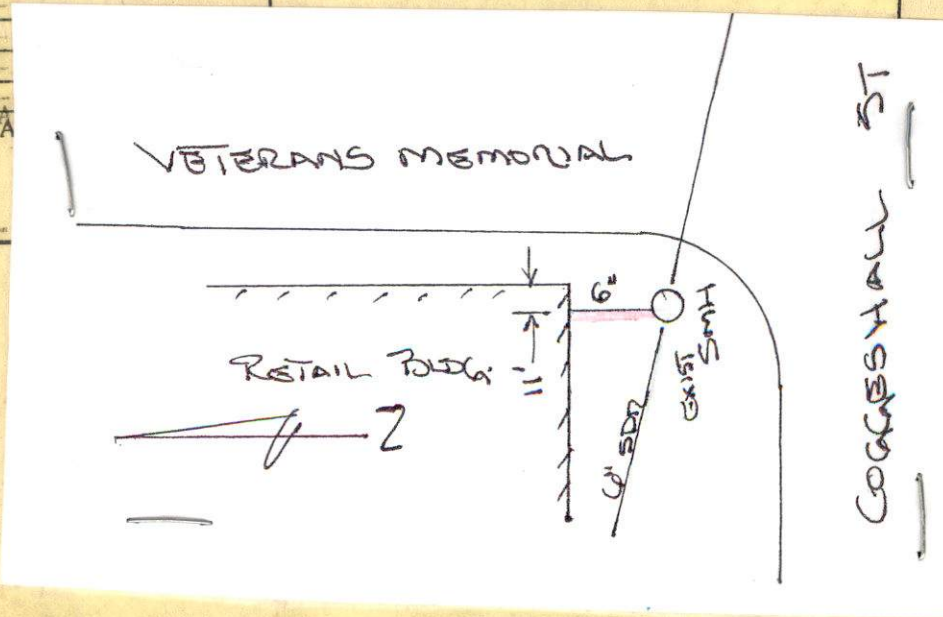
COMMENTS: _____

APPROVED

DISA

SEE WHITE SHEET

SIGNATURE





Inspector

PERMIT NO.
24340

CITY OF NEW BEDFORD
SEWER AND/OR STORM DRAIN PERMIT

DATE 6-7-13
Expires: 6-7-14

This certifies that permission is granted to

Highway View LLC 1266 Furnace Brook Pkwy (508) 947-0050
Property Owner Address Quincy, MA 02169 Tel. contact: Rich

To connect a sewer and/or storm drain located at NWC Coggeshall St/Veterans Memorial Way

Assessor's Plot 93 Lot 2164, to the sewer and/or storm drain in one story strip mall

To be laid in accordance with the conditions in this application and the City of New Bedford ordinances. (See attached maint. agreement)

TYPE OF USE: RESIDENTIAL COMMERCIAL INDUSTRIAL FLOW 200 G.P.D.

If applicant other than actual property owner, attach Letter of Authorization from Property Owner.

Name DW White / John Veins Tel. (774) 273-0373

Mailing Address 867 Middle Rd Acushnet MA 02743

The Bonded Contractor/Drain Layer authorized to perform this work is:

Name DW White Address 867 Middle Rd Acushnet, MA Tel. 508-763-8868

Type of Pipe Required: SDR 35 PVC

PERMIT EXPIRES ONE YEAR AFTER DATE OF ISSUE

- Requires separate connections for sewage and storm drain where applicable. Storm water cannot be discharged to a sanitary sewer.
 - All work must be inspected and approved by a D.P.I. inspector before backfilling.
 - If this connection is to be part of a private service shared jointly with other building owners, attach copy of Recorded Joint Maintenance Agreement.
 - Permits can be issued to Industrial and/or Commercial Applicants only upon receipt and approval by the Commissioner of Public Infrastructure of required plans and supplemental information.
 - In addition, a City-issued Industrial User Discharge Permit and/or a Sewer Extension/Connection Permit issued by the Commonwealth of Massachusetts D.E.P. shall be required by the City for Industrial Discharge into the sewer system.
- Industrial User Discharge Permit No. Date

Comm. Mass. Sewer Conn./Ext. Permit No. Date

A Filing and Inspection Fee of \$450, plus an Entrance Fee of \$..... where applicable, must accompany this application.

Bank Bristol County Bank Check# 18532 Date 6/11/13 Receipt# 10080

Other requirements: Please call ahead 24hr notice for inspection at (508) 979-1550 ext 506. Connecting to a 6" service on private property.

Connection made to Sewer Part of jointly-shared private line YES NO
Storm Drain *plan + sewer maint. agreement

Applicant agrees to abide by the above terms, as well as all pertinent ordinances of the City of New Bedford, and such other special rules as the Commissioner of Public Infrastructure and/or City Engineer may deem necessary

John K. Veins
City Engineer

John K. Veins
Signature of Property Owner or Representative

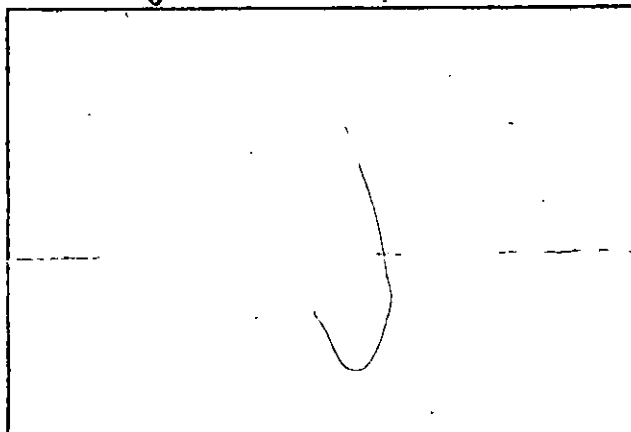
INSPECTOR'S REPORT

INSPECTED BY: [Signature]
DATE: 6/13/13
COMMENTS:

APPROVED

DISAPPROVED

SIGNATURE



SKETCH PLAN

WW-13-1+



PERMIT NO.
24340

CITY OF NEW BEDFORD
SEWER AND/OR STORM DRAIN PERMIT

DATE 6-7-13
Expires: 6-7-14

This certifies that permission is granted to

Property Owner Highway View LLC Address 1266 Furnace Brook Pkwy Tel. (508) 947-0050
210 Dickinson Corp. Quincy, MA 02169 contact: Rich

To connect a sewer and/or storm drain located at NWC Coggeshall St/Veterans Memorial Way

Assessor's Plot 93 Lot 264 to the sewer and/or storm drain in one story strip mall

To be laid in accordance with the conditions in this application and the City of New Bedford ordinances.

TYPE OF USE: RESIDENTIAL COMMERCIAL INDUSTRIAL FLOW 330 G.P.D.

If applicant other than actual property owner, attach Letter of Authorization from Property Owner.

Name DW White / John Veins Tel. (774) 273-0373

Mailing Address 867 Middle Rd Acushnet MA 02743

The Bonded Contractor/Drain Layer authorized to perform this work is:

Name DW White Address 867 Middle Rd Acushnet, MA Tel. 508-763-8868

Type of Pipe Required: SDR 35 PVC

PERMIT EXPIRES ONE YEAR AFTER DATE OF ISSUE

- Requires separate connections for sewage and storm drain where applicable. Storm water cannot be discharged to a sanitary sewer.
- All work must be inspected and approved by a D.P.I. inspector before backfilling.
- If this connection is to be part of a private service shared jointly with other building owners, attach copy of Recorded Joint Maintenance Agreement.
- Permits can be issued to Industrial and/or Commercial Applicants only upon receipt and approval by the Commissioner of Public Infrastructure of required plans and supplemental information.
- In addition, a City-issued Industrial User Discharge Permit and/or a Sewer Extension/Connection Permit issued by the Commonwealth of Massachusetts D.E.P. shall be required by the City for Industrial Discharge into the sewer system.

Industrial User Discharge Permit No. _____ Date _____

Comm. Mass. Sewer Conn./Ext. Permit No. _____ Date _____

A Filing and Inspection Fee of \$ 450, plus an Entrance Fee of \$ _____ where applicable, must accompany this application.

Bank# Bristol County Bank Check# 18532 Date 6/11/13 Receipt# 10080

Other requirements: Please call ahead 24 hr notice for inspection at (508) 979-1550 ext 506. Connecting to a 6" service on private property.

Connection made to Sewer Part of jointly-shared private line YES NO
Storm Drain see attached plan + sewer maint agreement

Applicant agrees to abide by the above terms, as well as all pertinent ordinances of the City of New Bedford, and such other special rules as the Commissioner of Public Infrastructure and/or City Engineer may deem necessary

John Veins
City Engineer

John K. Veins
Signature of Property Owner or Representative

INSPECTOR'S REPORT

INSPECTED BY: _____

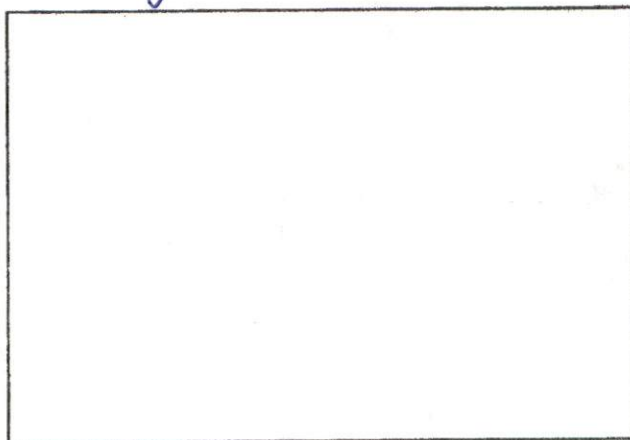
DATE: _____

COMMENTS: _____

APPROVED

DISAPPROVED

SIGNATURE



SKETCH PLAN

✓



CITY OF NEW BEDFORD
Jonathan F. Mitchell, Mayor

Department of Public Infrastructure

Ronald H. Labelle
Commissioner

Water
Wastewater
Highways
Engineering
Cemetery

To Whom It May Concern:

I MARK DICKINSON 1266 FURNACE BROOK PARKWAY QUINCY, MA. being
(Name) (Mailing Address)

Owner of property located at

RIVERSIDE LADDING Plot # Lot 93-264 (FORMERLY 85 CORNHILL ST.)

Plot 93, Lot 264, hereby agree to allow JOHN VEINS
(Name)

867 MIDDLE RD ACUSHNET to act on my behalf including affixing my
(Mailing Address)

signature in securing permit for:

☒ Sewer/Drain Service Permits
☒ Water Service Permits
☒ Driveway Installation Permits
☒ Sidewalk Installation Permits

I further agree to conform to, and abide by, All City rules and ask regulations applicable to the permit (s) being applied for:

Name Mark Dickinson Mgr.
Signature

1266 FURNACE BROOK PARKWAY, QUINCY, MA
Address

6/6/13 617-285-4780
Date Telephone number

JOINT SEWER MAINTENANCE AGREEMENT

In consideration of the City of New Bedford permitting

Highwayview LLC MARK C DICKINSON, MGR
(Names and Addresses of Owners)

Highwayview LLC as owner of both parcels
to make connection to a public sewer, the said parties hereto, their
heirs and/or assigns, being owners of property located at:

25 Coggeshall St. Plot 93/Lot 269
(Addresses and Plot & Lot Nos.)

do hereby agree to bear jointly the cost of maintaining the private
sewer serving the above described properties, from the point where
the individual house sewers combine into a single pipe to the point
where said single pipe enters into the public sewer.

However, in cases in which the location requiring maintenance is
found to be behind or above the point of connection of one or more
of the above described individual house sewers, the cost shall be
borne jointly by those remaining property owners which have joint use
of the private sewer at such location.

WITNESS TO ALL:

Tanya Warner

OWNERS INVOLVED:

Mark C Dickinson
Mark C Dickinson

COMMONWEALTH OF MASSACHUSETTS

Bristol, ss

New Bedford

3-14-13
(Date)

Then personally appeared the above named

Mark C Dickinson

and made oath that the above is their free act and deed,
before me

Marilyn M. Skypeck
Notary Public



NOTARY PUBLIC
Marilyn M. Skypeck
Commonwealth of Massachusetts
My Commission Expires Jan. 3, 2014

Ana S. Rosa

From: Jim Hebert [jhebert@dwwhite.com]
Sent: Friday, June 07, 2013 4:34 PM
To: Ana S. Rosa
Subject: Permission slip
Attachments: DOC060713.pdf

James J. Hebert
Project Manager

867 Middle Road | Acushnet, MA 02743 |
| Phone: (508) 763-8868 | Fax: (508) 763-4756 |
Email: jhebert@dwwhite.com

-----Original Message-----

From: D.W. White Toshiba Scanner [<mailto:printer@dwwhite.com>]
Sent: Friday, June 07, 2013 4:36 PM
To: Jim Hebert
Subject: Send data from MFP07634829 06/07/2013 16:35

Scanned from MFP07634829

Date: 06/07/2013 16:35
Pages: 1
Resolution: 200x200 DPI



City of New Bedford, MA

88-75-12

Building Division

City Hall, Room 308, 133 William Street
New Bedford, MA 02740

RECEIPT

APPLICATION TO CONSTRUCTION, REPAIR, RENOVATE, CHANGE THE USE OR OCCUPANCY OF, OR DEMOLISH A DWELLING

Permit No #: TB-13-870	Date Received: 5/1/2013
Signature: James Hebert	
Building Commissioner/Inspector of Buildings:	Date

SECTION 1: SITE INFORMATION

1.1 Property Address NS COGGESHALL ST N.W.C. COGGESHALL ST. VETERANS MEMORIAL WAY	1.2 Assessors Map & Parcel Number 93-264
1.3 Zoning Information MUB Zoning District	1.4 Property Dimensions 97551 Lot Area
Proposed Use	Frontage (ft)

1.5 Building Setbacks (ft)					
Front Yard		Side Yard		Rear Yard	
Required	Provided	Required	Provided	Required	Provided
0.00	5.00	8.00	75.00	20.00	144.00
1.6 Water Supply	False	1.7 Flood Zone Information		1.8 Sewage Disposal	False
SECTION 2: PROPERTY AUTHORIZED AGENT					

Agent of Record					
James Hebert		6 Southwind Way		North Dartmouth MA 02747	
Name		Address			

SECTION 3: Description of Proposed Work

Permit For:	Foundations Only Comm and Indust. 200.00
Brief Description of Proposed Work:	
Foundation CL	ONE STORY STRIP MALL

SECTION 4: Estimated Construction Costs / Permit Fees

Total Project Cost :	\$100,000.00	Payment Date	Amount Paid	Check No
Total Permit Fee Paid:	\$200.00	5/1/2013	\$200.00	1571
Account Number : 0001 240 44300 000				

THIS IS NOT A PERMIT



Commonwealth of Massachusetts

City of New Bedford

133 William Street New Bedford, MA 02740

SEWER PERMIT



Date: **10/30/2013**

No. **WW-13-17**

Sewer Connection Fee: **\$450.00**

Pipe Size: **0.00**

Trench Length: **0.00**

Service Location: **NS COGGESHALL ST**

Owner Name: **Highway View LLC**

Type of Occupancy: **Commercial**

Type of Work: **Sewer - New Sewer Service**

Work Description: **connecting into 6" private property**

nwc Coggeshall St/Veterans Memorial Way

**P93
L264**

sewer permit#24340

No. of Units : **0** Required Design Daily Flow : **0.00** Provided Daily Flow : **0.00**

The undersigned petitions you to grant permission to ENTER INTO THE MAIN SEWER and, if such permission is granted, hereby agrees to the following:

1. To abide by the conditions and regulations imposed by the Commissioner of Public Works by statute or by ordinance now in force, or as amended from time to time.
2. That the connection of said sewer with the main sewer shall be inspected by an employee of the department of Public Works or by a designated agent of the Town before burial of said connection.
3. That the work shall at all times be under the direction and control of the Commissioner of Public Works or his authorized agent, and that any expense incurred by the Town shall be charged to the permittee, and said permittee agrees to reimburse the Town for said expense.

Installing Company Name: **DW White**

License Type: **CSL-00
Unrestricted**

Address: **867 Middle Road** City/Town/State: **Acushnet MA**

Ana S. Rosa

From: Jim Hebert [jhebert@dwwhite.com]
Sent: Wednesday, June 12, 2013 9:17 AM
To: Ana S. Rosa; Maria Sequeira
Subject: FW: Riverside Foundation As-Built
Attachments: Riverside Phase II Foundation As-Built.pdf

James J. Hebert
Project Manager



867 Middle Road | Acushnet, MA 02743
| Phone: (508) 763-8868 | Fax: (508) 763-4756 |
Email: jhebert@dwwhite.com

Ana S. Rosa

From: Rich- Prime Engineering [rich@primeengineering.org]
Sent: Friday, June 07, 2013 1:29 PM
To: Ana S. Rosa
Cc: 'Jim Hebert'
Subject: FW: as built of Riverside landing
Attachments: 20130607130209638.pdf

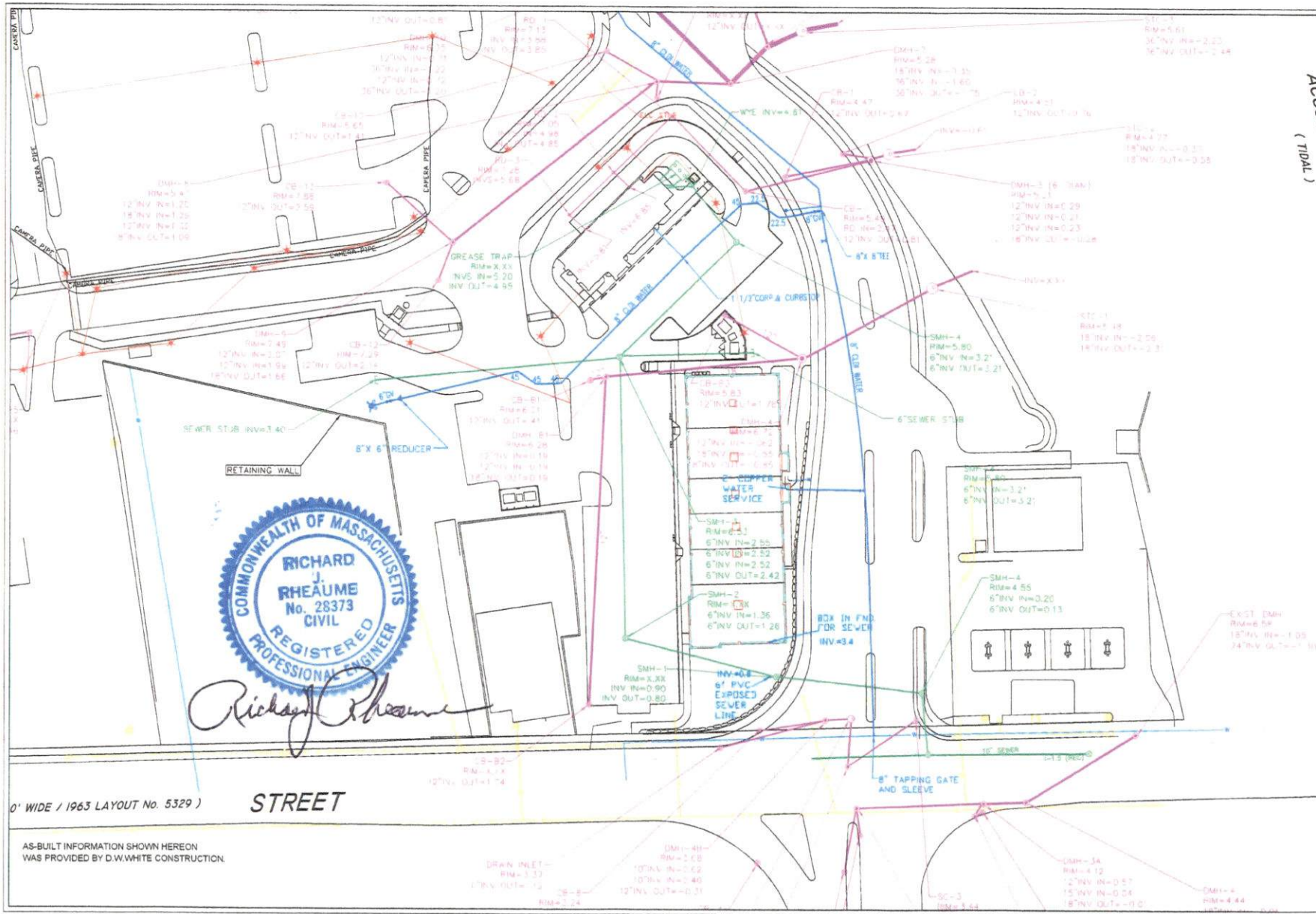
Richard J. Rheume, P.E., L.S.P.
Chief Engineer
508-947-0050

-----Original Message-----

From: 350primeeng@gmail.com [<mailto:350primeeng@gmail.com>]
Sent: Friday, June 07, 2013 1:02 PM
To: Rich Rheume
Subject: Message from "dhcppc26"

This E-mail was sent from "dhcppc26" (Aficio MP 2352).

Scan Date: 06.07.2013 13:02:09 (-0400)
Queries to: 350primeeng@gmail.com



ACUSTIC
(TIDAL)



TACO BELL
UTILITY RECORDS
NEW BEDFORD, MASS

PROJECT:

SCALE: 1"=30'
DATE: 8-6-13

SH 1-1

Ana S. Rosa

From: Jim Hebert [jhebert@dwwhite.com]
Sent: Friday, June 07, 2013 12:23 PM
To: Ana S. Rosa
Subject: FW: Send data from MFP07634829 06/07/2013 11:37
Attachments: DOC060713.pdf; Revised Sites.pdf

Ana,

As soon as I have the wet stamped as built on the foundation I will forward it to you.
Thanks,

James J. Hebert
Project Manager

867 Middle Road | Acushnet, MA 02743 |
| Phone: (508) 763-8868 | Fax: (508) 763-4756 |
Email: jhebert@dwwhite.com



Commonwealth of Massachusetts

CITY OF NEW BEDFORD

City Hall, Room 308, 133 William Street New Bedford, MA 02740 (508) 979-1540



FOUNDATION PERMIT

5/14/2013

No. B-13-870

MSBC Sect. 111.8 - Any permit issued shall be deemed abandoned and invalid unless the work authorized by it shall have been commenced within six (6) months after its issuance.

FEE PAID \$ #Error

This certifies that HIGHWAYVIEW LLC C/O DICKINSON DEVELOPMENT CORPORATION

owner/contractor has permission to: NS COGGESHALL ST

on: Foundations Only Comm and Indust. 200.00

Providing that the person accepting this permit shall in every respect conform to the terms of application therefore on file in this office; to the provisions of the statute of the Commonwealth and to the by-laws of the City of New Bedford relating to the inspection, erection, enlarging, altering, raising, moving, repairing, or tearing down of a building.

Permit is issued subject to the following special requirements: (Restrictions)



Wiring Inspector



Plumbing Inspector



Building Inspector

YOUR AREA INSPECTOR IS: Mussie Gizaw

Tel. (508) 979-1540 Between 8:00am - 9:00am

NOTICE: NOTIFY INSPECTOR 48 HOURS IN ADVANCE OF APPLYING SHEATHING OR LATHING

OCCUPANCY PERMIT REQUIRED BEFORE OCCUPANCY
No Building or Structure shall be used or occupied until the Certificate of Occupancy shall have been issued by the Building Commissioner. MSBC, Sect. 120

This Card must be displayed in a conspicuous place on the premises and not torn down or removed until completion of work.

SUBJECT TO MASSACHUSETTS
STATE BUILDING CODE

Danny D. Browne

Building Inspector

97.00w of
FINISH FLOOR
EL=11.00

1. HORIZONTAL DATUM IS MASSACHUSETTS STATE PLANE-COORDINATION SYSTEM (NAD 83)
2. VERTICAL DATUM IS CITY OF NEW BEDFORD DATUM.

COGGESHALL (PUBLIC - 60' WIDE / 1963 LAYOUT No. 5329) STREET

APPROVED BY THE CITY OF NEW BEDFORD PLANNING BOARD


CITY OF NEW BEDFORD PLANNING BOARD

APPROVED _____ ENDORSED _____



↓
MERIDIAN OF 1963 COGGESHALL
STREET LAYOUT



DATE		DRAWING TITLE		SCALE	
12/1/2012		EXISTING CONDITIONS PLAN		1" = 40'	
		PROJECT		JOB NO.	
		RIVERSIDE LANDING - PHASE II		MAY 18, 2012	
		NEW BEDFORD, MASSACHUSETTS		OWNER	
		SHEET		DESIGNED BY	
		HIGHWAYWAYVILLE LLC		DATE	
		NEW BEDFORD, MASSACHUSETTS		SHEET NO.	
				2	
4 8-12-12 REVERSE SIDE TOWARD BUILDING FOOTPRINT 4 8-11-12 REVERSE RESTAURANT FOOTPRINT 4 7-9-12 RESPONSE TO COMMENTS 4 8-11-12 RESPONSE TO COMMENTS NEW DATE DISPOSITION		EXP. RUN EXP. RUN EXP. RUN EXP. RUN BY APP.		P. R. ROSE (EXP.) 200 BEDFORD ST. NEW BEDFORD, MA 01905 TEL: 508-747-0050 FAX: 508-747-0051 LICENSED PROFESSIONAL ENGINEER NO. 00609 STATE OF MASSACHUSETTS	
		PROJECT ENGINEERING		PROJECT NO.	
				1304021	

**MARKET BASKET
SUPERMARKET**

97,000 SF
FINISH FLOOR
FL=11.00

PARKING SUMMARY

DEVELOPMENT	GROSS AREA (SQ. FT.)	RATIO
TOTAL RETAIL	14,323 S.F.	BT 8.9/1,000 S.F.

NOTES:

1. ALL CURBING RAIN SHALL BE 3" UNLESS OTHERWISE NOTED.
2. CURBING TO BE 5" VERTICAL GRANITE (SEE DETAIL) UNLESS OTHERWISE NOTED.
3. WHEEL CHAIR RAMP TO BE PROVIDED WHERE SIDEWALK TERMINATES AND AT ALL CROSS-WALKS.

COGGESHALL STREET (PUBLIC - 60' WIDE / 1963 LAYOUT No. 5329)

APPROVED BY THE CITY OF NEW BEDFORD PLANNING BOARD

CITY OF NEW BEDFORD PLANNING BOARD

APPROVED _____ ENDORSED _____



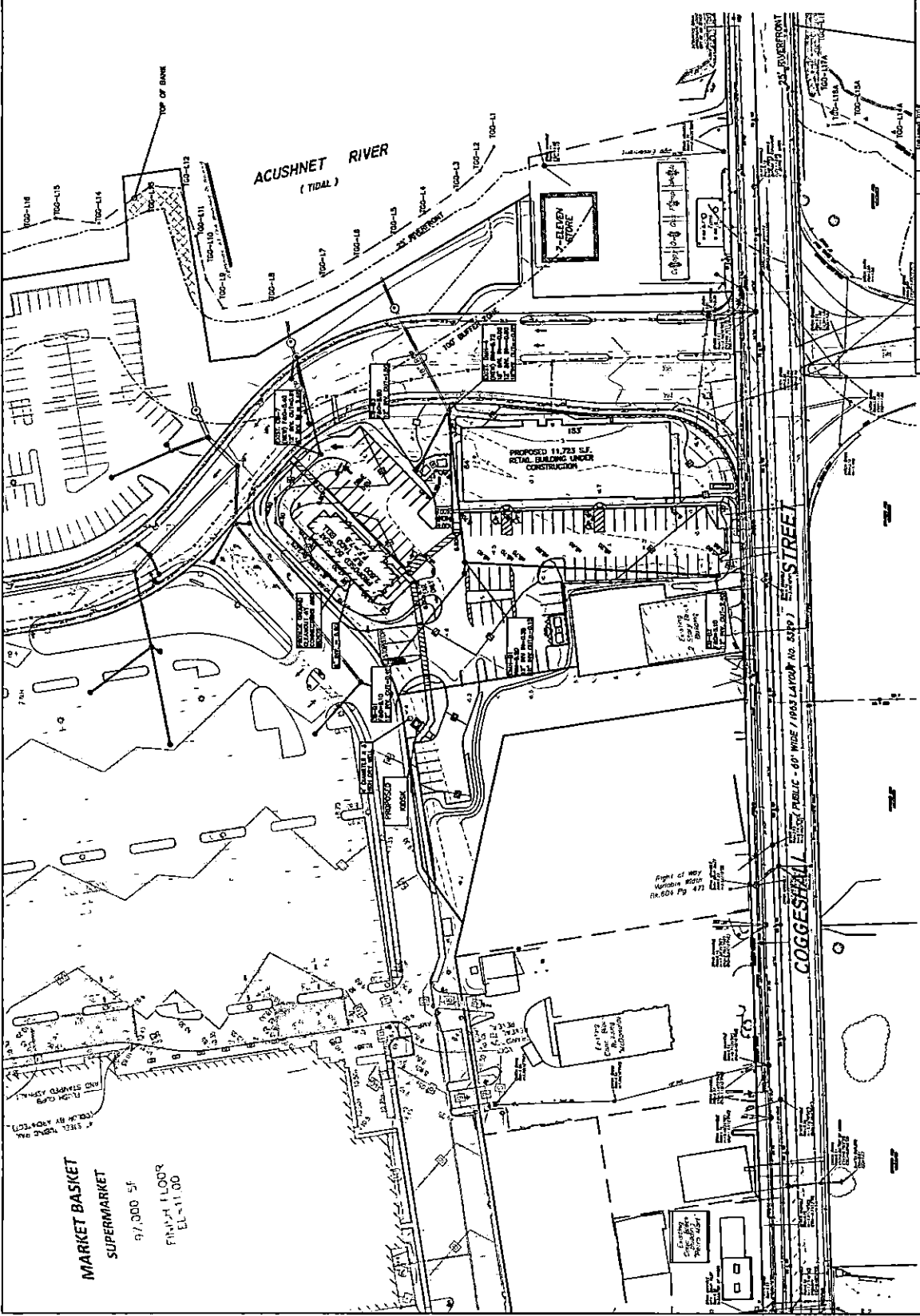
0' 40' 80' 120'

LAYOUT PLAN				SCALE 1" = 40'
PROJECT RIVERSIDE LANDING - PHASE II				DATE MAY 18, 2015
NEW BEDFORD, MASSACHUSETTS				DRAWN BY C.W.
HIGHWAYVIEW LLC				DESIGNED BY C.W.
NEW BEDFORD, MASSACHUSETTS				CHECKED BY R.B.
CIVIL ENGINEERING				APPROVED BY R.B.
LAND SURVEYING				PROJECT NO. 1304801
ENVIRONMENTAL ASSESSMENT				
REV.	DATE	DESCRIPTION	BY	APP.
1	8-13-15	REVIEW MAIN TENANT BUILDING FOOTPRINT	C.W.	R.B.
2	8-11-15	REVIEW RESTAURANT FOOTPRINT	C.W.	R.B.
3	7-9-15	RESPONSE TO COMMENTS	C.W.	R.B.
4	8-11-15	RESPONSE TO COMMENTS	C.W.	R.B.
5	8-11-15	RESPONSE TO COMMENTS	C.W.	R.B.

PRIME ENGINEERING

P.O. BOX 1009
200 BEDFORD ST.
NEW BEDFORD, MA 01905
TEL: 508.462.0200
FAX: 508.462.0204

- NOTES:**
- 1) ALL SPA WORKS POINT MUST BE OBTAINED BY THE CITY OF NEW BEDFORD.
 - 2) THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE PROGRAM, AT THE APPROVED SCHEDULE.
 - 3) THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC INFRASTRUCTURE, ENGINEERING DIVISION, OF ANY UTILITY WORK TO BE DONE THAT THE WORK IS IN CONFORMANCE WITH ALL CITY OF NEW BEDFORD REQUIREMENTS.
 - 4) PERMITS FOR WATER, SEWER, DISCHARGE, AND EROSION CONTROL MUST BE OBTAINED FROM THE DEPARTMENT OF PUBLIC INFRASTRUCTURE, ENGINEERING DIVISION.
 - 5) A PRE-CONSTRUCTION MEETING MUST BE SCHEDULED WITH THE DEPARTMENT OF PUBLIC INFRASTRUCTURE, ENGINEERING DIVISION, AND THE CONSTRUCTION AGENT PRIOR TO START OF CONSTRUCTION.
 - 6) ALL DRAINAGE PIPING TO BE 12 INCH AND 12 INCH HOPE SHALL BE 12 INCH AND 12 INCH HOPE.
 - 7) ALL DRAINAGE PIPING SHALL BE 12 INCH HOPE.



**MARKET BASKET
SUPERMARKET**
97,000 SF
FINISHED FLOOR
EL. = 11.00

APPROVED BY THE CITY OF NEW BEDFORD PLANNING BOARD

CITY OF NEW BEDFORD PLANNING BOARD

APPROVED: _____

DATE: _____

DESIGNED: _____

PROJECT NO. 1304801

GRADING AND DRAINAGE PLAN
RIVERSIDE LANDING - PHASE II
NEW BEDFORD, MASSACHUSETTS

DATE: MAY 18, 2011

DESIGNED BY: HIGHWAY VIEW LLC

CHECKED BY: HIGHWAY VIEW LLC

DATE: MAY 18, 2011

PROJECT NO. 1304801

DATE: MAY 18, 2011

PROJECT NO. 1304801

MARKET BASKET
SUPERMARKET

97,000 SF

FINISH FLOOR
EL. -11.00

8" FIRE PROTECTION

ALL UTILITY WORK SHALL BE DONE
IN CONFORMANCE WITH NEW
BEDFORD DEPARTMENT OF PUBLIC
INFRASTRUCTURE CONSTRUCTION
STANDARDS AND SPECIFICATIONS
DATED MARCH, 2012

ACUSHNET RIVER
(TIDAL)

COGGESHALL STREET (PUBLIC - 60' WIDE / 1963 LAYOUT NO. 5359)

APPROVED BY THE CITY OF NEW BEDFORD PLANNING BOARD

CITY OF NEW BEDFORD PLANNING BOARD

APPROVED _____ ENDORSED _____



0' 40' 80' 120'

UTILITIES PLAN				SCALE:	1" = 40'
PROJECT: RIVERSIDE LANDING - PHASE II				DATE:	MAY 18, 2012
NEW BEDFORD, MASSACHUSETTS				DRAWN BY:	DNV
HIGHWAYVIEW LLC				DESIGNED BY:	DNV
NEW BEDFORD, MASSACHUSETTS				CHECKED BY:	BLR
PRIME ENGINEERING				APPROVED BY:	BLR
PROJECT NO. 1304801				SHEET NO. 5	

10/11/23

~~22~~