



PERMIT NO.

24292

CITY OF NEW BEDFORD
SEWER AND/OR STORM DRAIN PERMIT

DATE 8/16/12

Exp. 8/16/13

This certifies that permission is granted to

Bismark Meadows Realty Trust
One Re's Trustee - 3 Lodge Wood Blvd Dartmouth, MA 02747

Property Owner

Address

A65

Tel.

508-958-8199

To connect a sewer and/or storm drain located at Bismark Meadows Rd.

Assessor's Plot 136 Lot 526, to the sewer and/or storm drain in Bismark Meadows Rd. Street

To be laid in accordance with the conditions in this application and the City of New Bedford ordinances.

TYPE OF USE: RESIDENTIAL COMMERCIAL INDUSTRIAL FLOW 330 G.P.D.

If applicant other than actual property owner, attach Letter of Authorization from Property Owner.

Name

Tel.

Mailing Address

The Bonded Contractor/Drain Layer authorized to perform this work is:

W.C. Smith & Sons 148 Westview St New Bedford MA 02740

Name

Address

Tel.

508-995-1449

Type of Pipe Required:

S.D.R. 33 PVC

PERMIT EXPIRES ONE YEAR AFTER DATE OF ISSUE

- Requires separate connections for sewage and storm drain where applicable. Storm water cannot be discharged to a sanitary sewer.
- All work must be inspected and approved by a D.P.I. inspector before backfilling.
- If this connection is to be part of a private service shared jointly with other building owners, attach copy of Recorded Joint Maintenance Agreement.
- Permits can be issued to Industrial and/or Commercial Applicants only upon receipt and approval by the Commissioner of Public Infrastructure of required plans and supplemental information.
- In addition, a City-issued Industrial User Discharge Permit and/or a Sewer Extension/Connection Permit issued by the Commonwealth of Massachusetts D.E.P. shall be required by the City for Industrial Discharge into the sewer system.

Industrial User Discharge Permit No.

Date

Comm. Mass. Sewer Conn./Ext. Permit No.

Date

A Filing and Inspection Fee of \$430, plus an Entrance Fee of \$ where applicable, must accompany this application.

Bank#

Bank Five

Check#

2211

Date

8/16/12

Receipt#

9549

Other requirements:

24 hour notice for inspection @ 508-991-6150

Follow approved site plan regulations as well as any conditions per Commissioner

Connection made to

Sewer

Part of jointly-shared private line

YES

NO

Storm Drain

Applicant agrees to abide by the above terms, as well as all pertinent ordinances of the City of New Bedford, and such other special rules as the Commissioner of Public Infrastructure and/or City Engineer may deem necessary

Manuel H. Silva

City Engineer

Supervising Civil Engineer

Signature of Property Owner or Representative

James Holden

INSPECTOR'S REPORT

INSPECTED BY: Bob Bichel

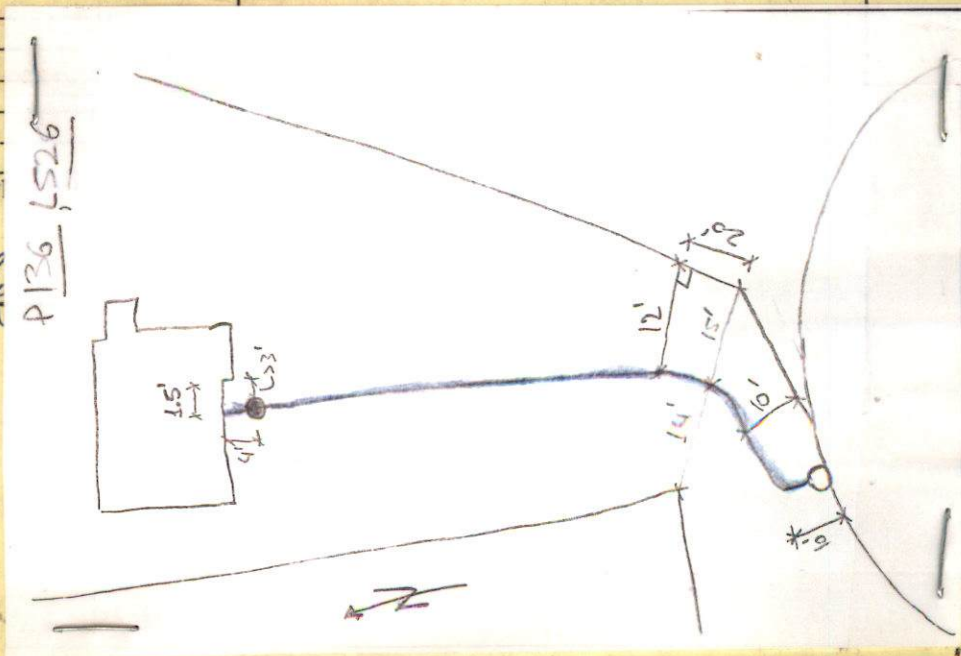
DATE: 9-20-12

COMMENTS:

APPROVED

DISAP

SIGNATURE



PERMIT NO.

24292



CITY OF NEW BEDFORD
SEWER AND/OR STORM DRAIN PERMIT

DATE 8/16/12

Exp. 8/16/13

This certifies that permission is granted to

Bismark Meadows Realty Trust
Ana Reis Trustee 3 Ledge Wood Blvd Dartmouth, MA 02747
Property Owner Address Tel. 508-958-8199

To connect a sewer and/or storm drain located at Bismark Meadows Rd. TO 144th St.
Assessor's Plot 136 Lot 526, to the sewer and/or storm drain in Bismark Meadows Rd. Service Direct

To be laid in accordance with the conditions in this application and the City of New Bedford ordinances.

TYPE OF USE: RESIDENTIAL COMMERCIAL INDUSTRIAL FLOW 330 G.P.D.

If applicant other than actual property owner, attach Letter of Authorization from Property Owner. attached

Name James Holden Bismark Meadows Realty Trust 508-958-8199
Mailing Address 3 Ledge Wood Blvd Dartmouth, MA 02747

The Bonded Contractor/Drain Layer authorized to perform this work is:

W.C. Smith & Sons 148 Westview St New Bedford, MA 02740
Name Address Tel. 508-995-1449

Type of Pipe Required: SAR 25" PVC Schedule 40 PVC
Environmental 1 Pump.

PERMIT EXPIRES ONE YEAR AFTER DATE OF ISSUE

- Requires separate connections for sewage and storm drain where applicable. Storm water cannot be discharged to a sanitary sewer.
 - All work must be inspected and approved by a D.P.I. inspector before backfilling.
 - If this connection is to be part of a private service shared jointly with other building owners, attach copy of Recorded Joint Maintenance Agreement.
 - Permits can be issued to Industrial and/or Commercial Applicants only upon receipt and approval by the Commissioner of Public Infrastructure of required plans and supplemental information.
 - In addition, a City-issued Industrial User Discharge Permit and/or a Sewer Extension/Connection Permit issued by the Commonwealth of Massachusetts D.E.P. shall be required by the City for Industrial Discharge into the sewer system.
- Industrial User Discharge Permit No. _____ Date _____

Comm. Mass. Sewer Conn./Ext. Permit No. _____ Date _____
A Filing and Inspection Fee of \$ 450, plus an Entrance Fee of \$ _____ where applicable, must accompany this application.

Bank# BANK FIVE Check# 2211 Date 8/16/12 Receipt# 9549

Other requirements: 24 hour notice for inspection @ 508-991-6150

follow approved site plan regulations as well as any conditions per conservation Commission.
Connection made to Sewer Part of jointly-shared private line YES ☒ NO
Storm Drain

Applicant agrees to abide by the above terms, as well as all pertinent ordinances of the City of New Bedford, and such other special rules as the Commissioner of Public Infrastructure and/or City Engineer may deem necessary

Manuel H. Silva CO.
City Engineer
Supervising Civil Engineer

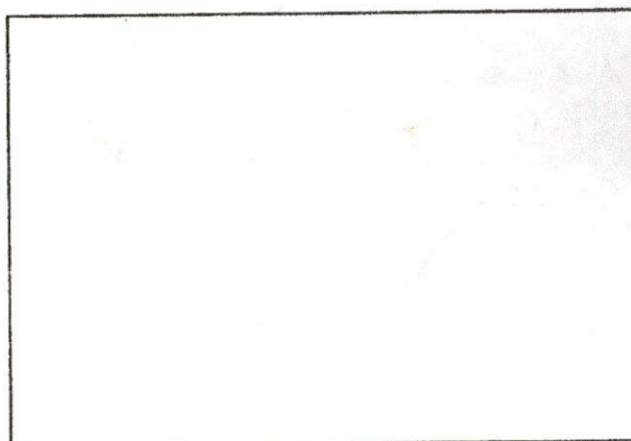
Signature of Property Owner or Representative
James Holden

INSPECTOR'S REPORT

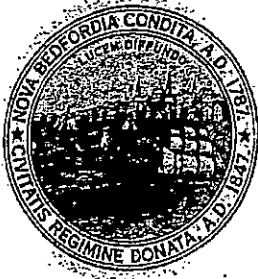
INSPECTED BY: _____
DATE: _____
COMMENTS: _____

APPROVED _____ DISAPPROVED _____

SIGNATURE



SKETCH PLAN



**CITY OF NEW BEDFORD
MASSACHUSETTS**

D.P.I. -Engineering Division

1105 Shawmut Ave.

New Bedford, Ma. 02746

Tel: 508-991-6150

Fax: 508-991-6152

Ronald Labelle
Commissioner

Duarte M. Andrade
Acting City Engineer

To Whom It May Concern:

I ANA Reis, Trustee, being
(Name) (Mailing Address)

Owner of property located at BISMARCK MEADOWS ROAD

Plot 136, Lots 505, 516, hereby agree to allow JAMES E. Holding
(Name)

3 Ledgewood Blvd Dartmouth to act on my behalf including affixing my
(Mailing Address)

signature in securing permit for:

- ☒ Sewer/Drain Service Permits
- ☒ Water Service Permits
- ☒ Driveway Installation Permits
- ☒ Sidewalk Installation Permits

I further agree to conform to, and abide by, All City rules and ask regulations applicable to
the permit (s) being applied for:

Name Ana M Reis
Signature

3 Ledgewood Blvd Dartmouth
Address

July 2012 508-995-0097
Date Telephone number



Commonwealth of Massachusetts

CITY OF NEW BEDFORD

City Hall, Room 308, 133 William Street New Bedford, MA 02740 (508) 979-1540



FOUNDATION PERMIT

7/25/2012

No. **B-12-828**

MSBC Sect. 111.8 - Any permit issued shall be deemed abandoned and invalid unless the work authorized by it shall have been commenced within six (6) months after its issuance.

FEE PAID \$ #Error

This certifies that **SASSAQUIN HIGHLANDS LLC**

owner/contractor has permission to:

NS

BISMARCK MEADOWS RD

LOT 136-526

ON: **Foundations Only 1-2 Family - 100.00**

Providing that the person accepting this permit shall in every respect conform to the terms of application therefore on file in this office; to the provisions of the statute of the Commonwealth and to the by-laws of the City of New Bedford relating to the inspection, erection, enlarging, altering, raising, moving, repairing, or tearing down of a building.

Permit is issued subject to the following special requirements: (Restrictions)



Wiring Inspector



Plumbing Inspector



Building Inspector

YOUR AREA INSPECTOR IS: **Thomas Welch**

Tel. (508) 979-1540 Between 8:00am - 9:00am

**NOTICE: NOTIFY INSPECTOR 48 HOURS IN
ADVANCE OF APPLYING SHEATHING OR LATHING**

OCCUPANCY PERMIT REQUIRED BEFORE OCCUPANCY

No Building or Structure shall be used or occupied until the Certificate of Use and Occupancy shall have been issued by the Building Commissioner - MSBC, Sect. 120.1

This Card Must Be Displayed in a Conspicuous Place on the Premises and Not Torn Down or Removed Until Completion of Work

SUBJECT TO MASSACHUSETTS
STATE BUILDING CODE

Building Inspector

Carol Sherman

From: Sarah Porter
Sent: Wednesday, August 15, 2012 4:32 PM
To: Carol Sherman
Subject: RE: SEWER & WATER TIE-INS

All set to issue Carol
Thank you
Sarah

From: Carol Sherman
Sent: Wednesday, August 15, 2012 3:34 PM
To: Sarah Porter
Subject: RE: SEWER & WATER TIE-INS

It is lot in view permit TB-12-828

From: Sarah Porter
Sent: Wednesday, August 15, 2012 3:14 PM
To: Carol Sherman
Subject: RE: SEWER & WATER TIE-INS

Carol, is that the last lot on the right of the cul de sac ?

From: Carol Sherman
Sent: Wednesday, August 15, 2012 3:10 PM
To: Sarah Porter
Subject: SEWER & WATER TIE-INS

SARA

BISMARCK MEADOWS RD DEVELOPMENT – LOT 526

JIM HOLDEN CAME HERE TODAY TO APPLY FOR SEWER & WATER PERMITS

I SPOKE WITH ANA AND SHE WANTS TO MAKE SURE EVERYTHING IS OK WITH YOU BEFORE WE ISSUE THESE PERMITS

THERE IS A 100' BUFFER ZONE INVOLVED

CAROL

DISPLAY PERMIT IN A CONSPICUOUS PLACE ON THE PREMISES



Commonwealth of Massachusetts

City of New Bedford

133 William Street New Bedford, MA 02740

SEWER PERMIT



Date: **8/17/2012**

No. **WW-12-20**

Sewer Connection Fee: **\$450.00**

Pipe Size: **0.00**

Trench Length: **0.00**

Service Location: **NS BISMARK MEADOWS RD**

Owner Name: **SASSAQUIN HIGHLANDS LLC**

Type of Occupancy: **Residential**

Type of Work: **Sewer - New Sewer Service**

Work Description: **SEWER PERMIT # 24292 - CONNECT SEWER INTO BISMARK MEADOWS RD**

No. of Units : **3** Required Design Daily Flow : **330.00** Provided Daily Flow : **330.00**

The undersigned petitions you to grant permission to ENTER INTO THE MAIN SEWER and, if such permission is granted, hereby agrees to the following:

1. To abide by the conditions and regulations imposed by the Commissioner of Public Works by statute or by ordinance now in force, or as amended from time to time.
2. That the connection of said sewer with the main sewer shall be inspected by an employee of the department of Public Works or by a designated agent of the Town before burial of said connection.
3. That the work shall at all times be under the direction and control of the Commissioner of Public Works or his authorized agent, and that any expense incurred by the Town shall be charged to the permittee, and said

permittee

agrees to reimburse the Town for said expense.

Installing Company Name: **Smith, W.C. & Sons, Inc.**

License Type: **Hoisting Engineer**

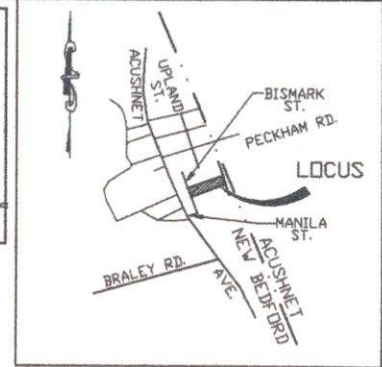
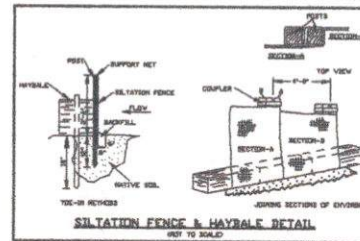
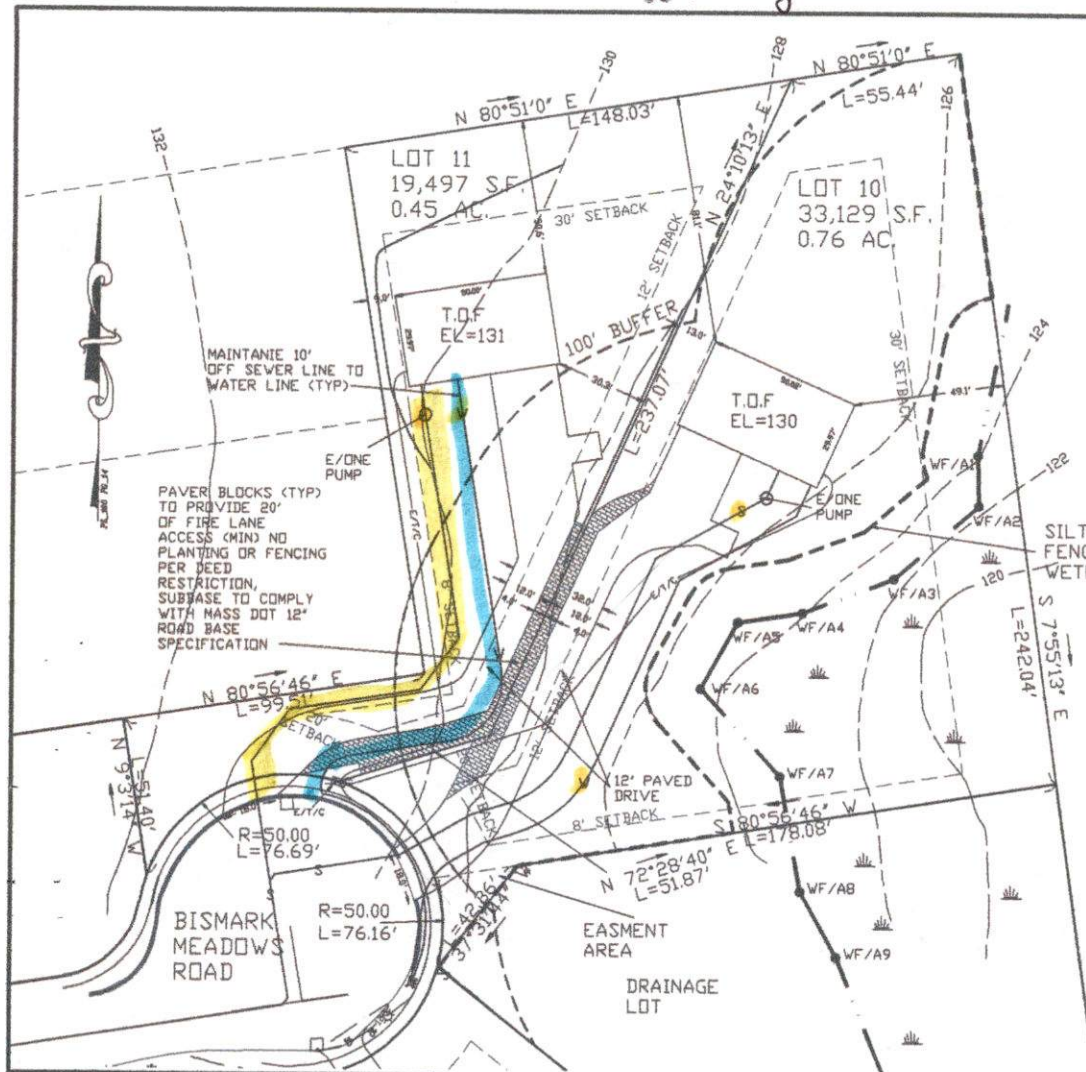
Address: **148 Westview Street** City/Town/State: **New Bedford MA**

GRANTED WITH THE USUAL CONDITIONS

COMMISSIONER

Call (781) 942-9077 For Inspection

Wrong.



GENERAL NOTES

- RECORD OWNER IS:
REIS ANA TRUSTEE
BISMARK MEADOWS REALTY TRUST
3 LEDGEWOOD BLVD
DARTMOUTH, MA
DEED BOOK 8463, PAGE 137
PLAN BOOK 167, PAGE 2
- PROPERTY IS SHOWN AS LOT 505 ON ASSESSOR'S MAP 136 AND APPEARS TO LIE WITHIN THE 2RA DISTRICT PER THE TOWN OF NEW BEDFORD ZONING MAP.
- PROPERTY LINES SHOWN WERE DERIVED FROM AN ON THE GROUND SURVEY CONDUCTED 06/2010, LINES OF OCCUPATION AND FOUND MONUMENTATION.
- ORIGIN OF ELEVATIONS IS N.B.C.D.
- PARCEL LIES WITHIN FLOOD ZONE X PER FIRM MAP 25005C0377F PANEL #377 OF 550 DATED 7/7/2009.
- EXISTING CONDITIONS SHOWN HEREON WERE COMPILED FROM AN ON THE GROUND SURVEY CONDUCTED 06-2010 AND PLANS ON RECORD.
- CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS SHOWN AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL VERIFY ALL CRITICAL ELEVATIONS AND INVERTS PRIOR TO CONSTRUCTION.
- THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES THAT MIGHT OCCUR BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY DIGSAFE, THE TOWN OF NEW BEDFORD DPW, AND ALL UTILITY COMPANIES A MINIMUM OF 72 HOURS PRIOR TO CONSTRUCTION ACTIVITIES FOR LOCATION OF ALL UNDERGROUND UTILITIES AND UTILITY COMPANY AND DPW APPROVALS.
- WETLAND LINE AND 100' BUFFER FROM PLAN ON RECORD WITH TOWN ENTITLED "GRADING AND UTILITY PLAN FOR BISMARK MEADOWS, NEW BEDFORD, MASSACHUSETTS. DATED DEC. 12, 2006, LAST REVISED 01-29-07".
- BOTTOM OF FOOTING TO BE AT ELEVATION 120.7 OR HIGHER PER PLAN REFERENCED IN NOTE #11.

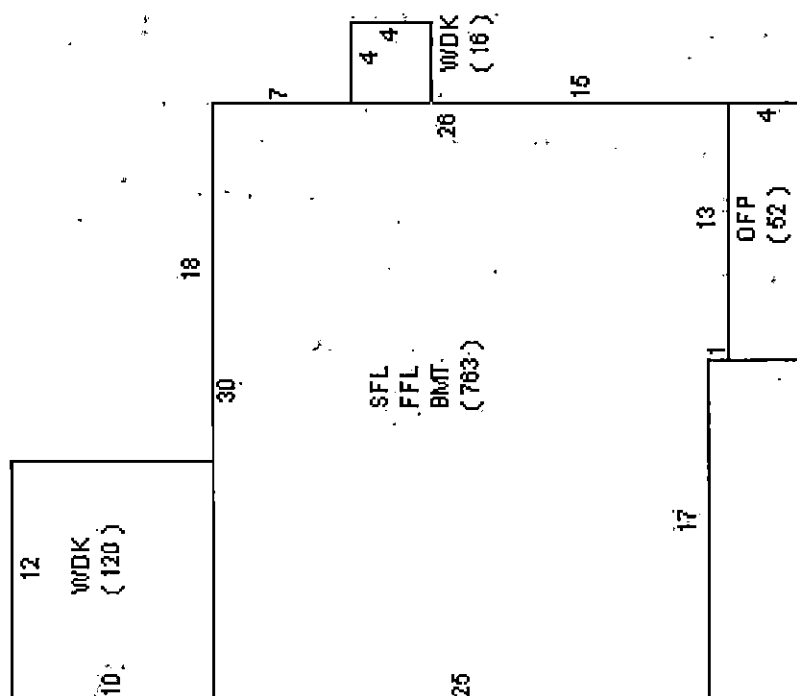
Existing Grade Inc.
Surveyors & Civil Engineers
PO Box 612
Dennisport, MA 02639
508-694-6501 Ph/Fax

| SCALE | |
|--------------------------------|-----------|
| 0 | 10 20 40 |
| 1. 7/15/12 PER FIRE DEPARTMENT | |
| # | DATE |
| | REVISIONS |

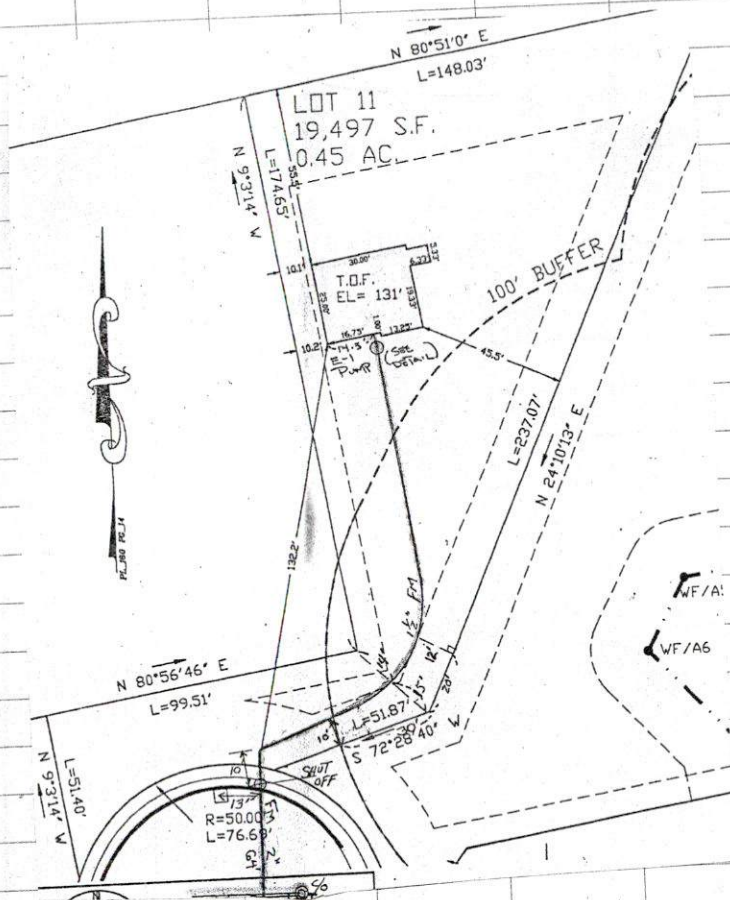
CLIENT
WELL BUILT HOMES
3 LEDGEWOOD AVE.
DARTMOUTH, MASSACHUSETTS 02747

PROPOSED SITE PLAN
LOT 10 & 11
BISMARK MEADOWS ROAD
NEW BEDFORD, MASSACHUSETTS

PROJECT NO.
1375
DATE: 4/5/12
SHEET NO.
1 OF 1



LOT 526 BISMARCK MEADOWS



SEWER T.E.-IN

DATE: ~~7/13~~ 7/13 + 9/20/12

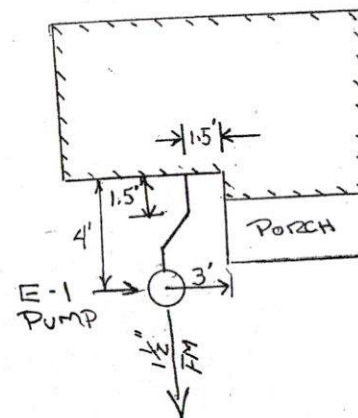
CONTRACTOR: W.C. SMITH + SON

INSP: T. BOCHER

Plot 136 Lot 526

PERMIT # 24292

Subdiv Lot # 11
ASSESSORS LOT 526



Submit for
Rec. & Billing