



PERMIT NO.  
24269

CITY OF NEW BEDFORD  
SEWER AND/OR STORM DRAIN PERMIT

DATE 1/31/12  
EXP 1/31/13

This certifies that permission is granted to

Property Owner Ana M. Reis, Trs. Bismark Meadows Realty Trust Address 3 Ledgewood Blvd. Dartmouth Tel. 508-995-0097 MA 02747

To connect a sewer and/or storm drain located at 62 Bismark Meadows Rd. connect into forced main

Assessor's Plot 136 Lot 512, to the sewer and/or storm drain in in Bismark Meadows Rd. Street (grinder pump)

To be laid in accordance with the conditions in this application and the City of New Bedford ordinances.

TYPE OF USE: RESIDENTIAL COMMERCIAL INDUSTRIAL FLOW 330 G.P.D.

If applicant other than actual property owner, attach Letter of Authorization from Property Owner.

Name James E. Holding Tel. 508-958-8199

Mailing Address 3 Ledgewood Blvd. Dartmouth, MA 02740

The Bonded Contractor/Drain Layer authorized to perform this work is:  
Smith & Sons, Inc. 148 Westview St. New Bedford MA 02740 Tel. 508-995-1449

Name Address

Type of Pipe Required: SDR 35 PVC

PERMIT EXPIRES ONE YEAR AFTER DATE OF ISSUE

- Requires separate connections for sewage and storm drain where applicable. Storm water cannot be discharged to a sanitary sewer.
  - All work must be inspected and approved by a D.P.I. inspector before backfilling.
  - If this connection is to be part of a private service shared jointly with other building owners, attach copy of Recorded Joint Maintenance Agreement.
  - Permits can be issued to Industrial and/or Commercial Applicants only upon receipt and approval by the Commissioner of Public Infrastructure of required plans and supplemental information.
  - In addition, a City-issued Industrial User Discharge Permit and/or a Sewer Extension/Connection Permit issued by the Commonwealth of Massachusetts D.E.P. shall be required by the City for Industrial Discharge into the sewer system.
- Industrial User Discharge Permit No. \_\_\_\_\_ Date \_\_\_\_\_

Comm. Mass. Sewer Conn./Ext. Permit No. \_\_\_\_\_ Date \_\_\_\_\_

A Filing and Inspection Fee of \$ 450.00, plus an Entrance Fee of \$ \_\_\_\_\_ where applicable, must accompany this application.

Bank# Bank five Check# 1973 Date 1-31-12 Receipt# 9136

Other requirements: 24 hour notice for inspection at 508-991-6150

Connection made to Sewer Part of jointly-shared private line YES NO  
Storm Drain

Applicant agrees to abide by the above terms, as well as all pertinent ordinances of the City of New Bedford, and such other special rules as the Commissioner of Public Infrastructure and/or City Engineer may deem necessary

Drake M. Andrade  
City Engineer CS

[Signature]  
Signature of Property Owner or Representative

INSPECTOR'S REPORT

INSPECTED BY: SEE WHITE SHEET

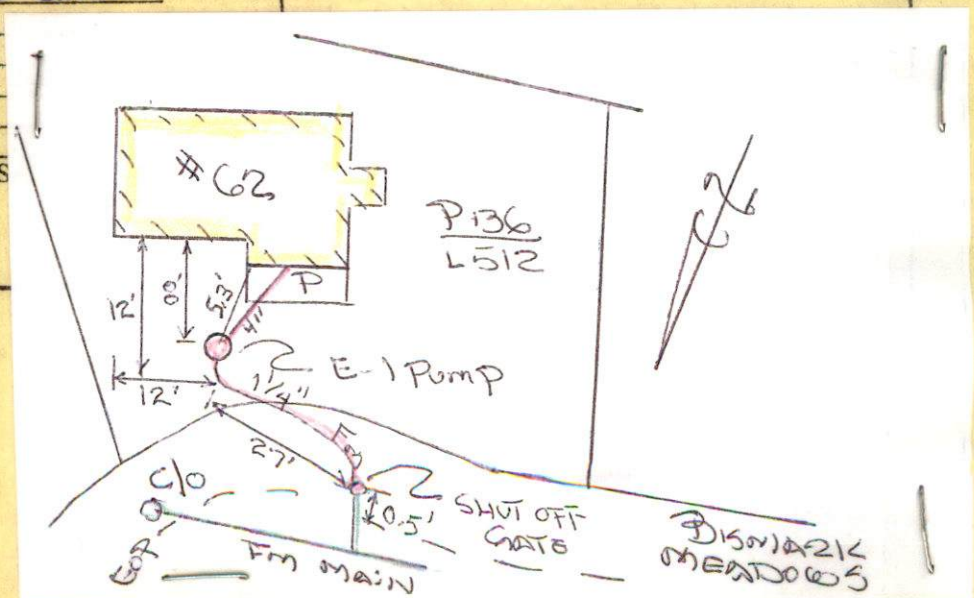
DATE:

COMMENTS:

APPROVED

DIS

SIGNATURE





PERMIT NO.

24269

CITY OF NEW BEDFORD  
SEWER AND/OR STORM DRAIN PERMIT

DATE 1/31/12  
ECP 1/31/13

This certifies that permission is granted to

Ana M. Reis, T.S. Bismark Meadows Realty Trust 3 Ledgewood Blvd. Dartmouth  
Property Owner Address Tel. 508-995-0097 MA 02747

To connect a sewer and/or storm drain located at 62 Bismark Meadows Rd.

Assessor's Plot 136 Lot 512, to the sewer and/or storm drain in Bismark Meadows Rd. Street

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Name Address Tel. 508-995-1449

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Industrial User Discharge Permit No. Date

Comm. Mass. Sewer Conn./Ext. Permit No. Date

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Diana M. Andrade  
City Engineer CS

Signature of Property Owner or Representative

INSPECTOR'S REPORT

INSPECTED BY: \_\_\_\_\_

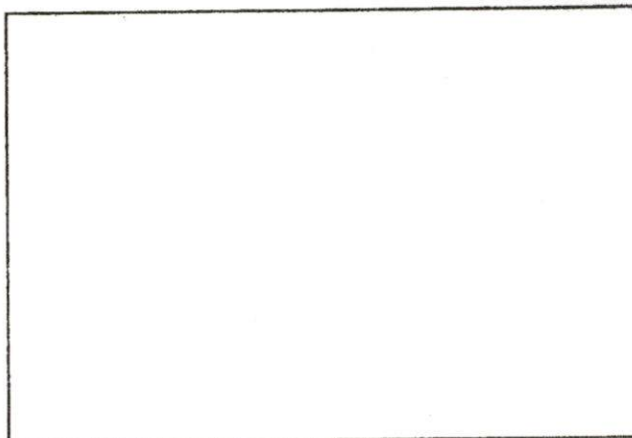
DATE: \_\_\_\_\_

COMMENTS: \_\_\_\_\_

APPROVED

DISAPPROVED

SIGNATURE



SKETCH PLAN



Inspector

PERMIT NO.

24269

CITY OF NEW BEDFORD  
SEWER AND/OR STORM DRAIN PERMIT

DATE 1/31/12

E4P 1/31/13

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- Industrial User Discharge Permit No. Date

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Diana M. Andrade  
City Engineer

Signature of Property Owner or Representative

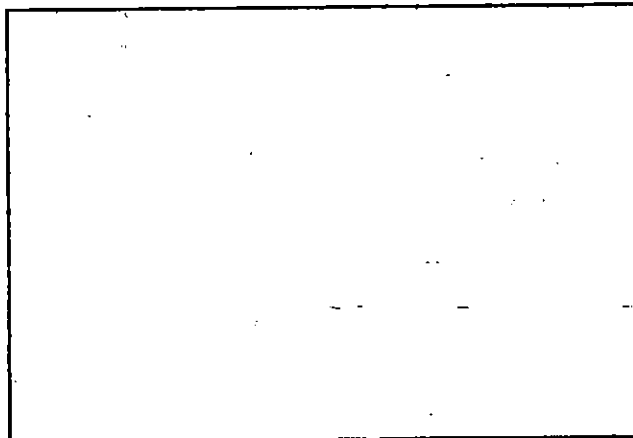
INSPECTOR'S REPORT

INSPECTED BY: [Signature]  
DATE: 6/15/12  
COMMENTS:

APPROVED

DISAPPROVED

SIGNATURE



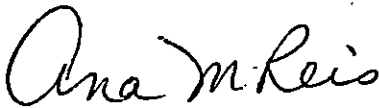
SKETCH PLAN

P.215A

No Plot

Bismark Meadows Realty Trust  
3 Ledgewood Blvd., Dartmouth, MA 02747

I, Ana M. Reis, hereby grant authority to James E. Holding to receive driveway permits  
for all parcels on Bismark Meadows Road, New Bedford.

A handwritten signature in cursive script that reads "Ana M. Reis". The signature is written in dark ink and is positioned above the printed name.

Ana M. Reis

136

[illegible]



## CITY OF NEW BEDFORD

NO. 135310LICENSE NO. 044954DATE 9/7 20 10

## FOUNDATION PERMIT

MSBC Sect. 111.8 – Any permit issued shall be deemed abandoned and invalid unless the work authorized by it shall have been commenced within six (6) months after its issuance.

This certifies that Ken Steen owner/contractor  
has permission to install Foundation  
on 62 Bismark Meadows Rd. Plot 136, Lot 512

providing that the person accepting this permit shall in every respect conform to the terms of the application therefor on file in this office; to the provisions of the Statute of the Commonwealth and to the By-Laws of the City of New Bedford relating to the Inspection, Erection, Enlarging, Altering, Raising, Moving, Repairing or Tearing Down of a Building.

WIRING INSPECTOR

PLUMBING INSPECTOR

BUILDING INSPECTOR

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YOUR AREA INSPECTOR IS:

Thomas Wells

ROUGH FINISH

– Tel. 979-1540 Between 8:00 AM – 9:00 AM

NOTICE: NOTIFY INSPECTOR 48 HOURS  
IN ADVANCE OF APPLYING  
SHEATING OR LATHING

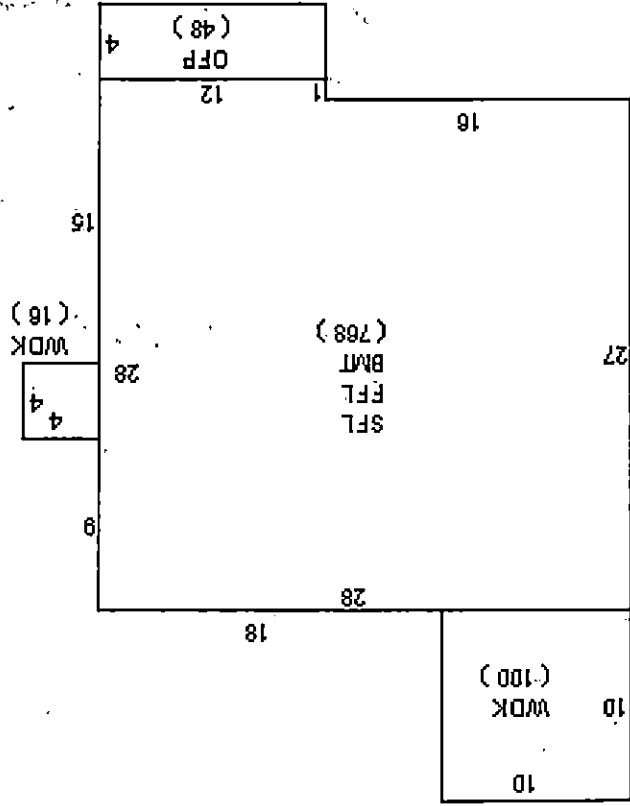
## OCCUPANCY PERMIT REQUIRED BEFORE OCCUPANCY

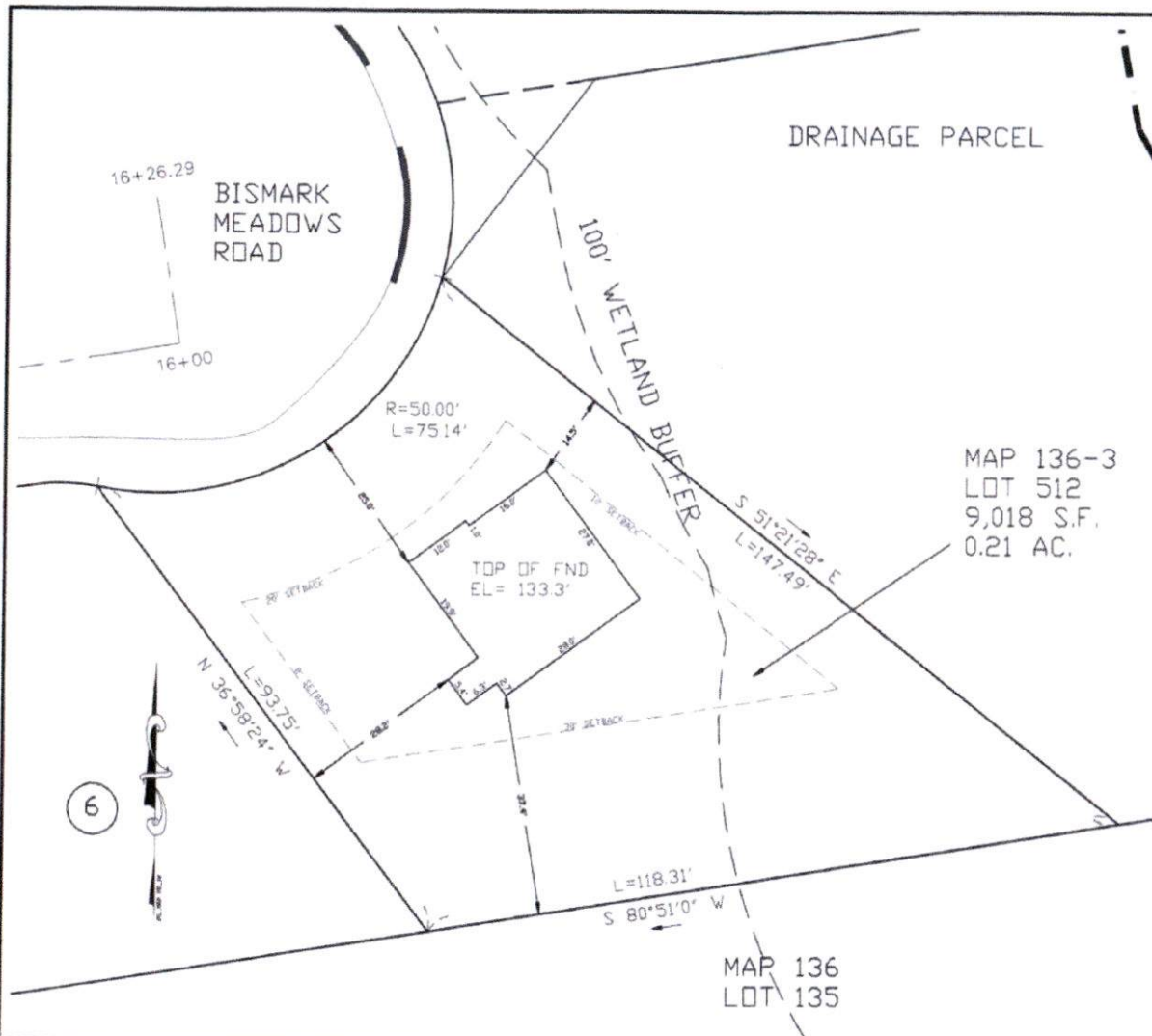
No Building or Structure shall be used or occupied until the Certificate of Use and Occupancy shall have been issued by the Building Commissioner – MSBC. Sect. 120.1 – N.B. Zoning Ord. Sect. 9-269

THIS CARD MUST BE DISPLAYED IN A CONSPICUOUS PLACE ON THE PREMISES  
AND NOT TORN DOWN OR REMOVED UNTIL COMPLETION OF WORK

SUBJECT TO MASSACHUSETTS STATE  
BUILDING CODE REQUIREMENTS

Danny D. Bonarney  
BUILDING INSPECTOR



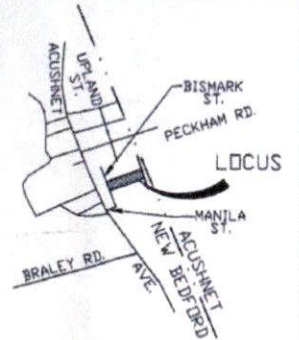


MAP 136-3  
LOT 512  
9,018 S.F.  
0.21 AC.

MAP 136  
LOT 135

### GENERAL NOTES

- RECORD OWNER IS:  
REIS ANA TRUSTEE  
BISMARK MEADOWS REALTY TRUST  
3 LEDGEWOOD BLVD  
DARTMOUTH, MA.  
DEED BOOK 8463, PAGE 137  
PLAN BOOK 160, PAGE 14
- PROPERTY IS SHOWN AS LOT 512 ON ASSESSOR'S MAP 136 AND APPEARS TO LIE WITHIN THE 2RA DISTRICT PER THE TOWN OF NEW BEDFORD ZONING MAP.
- PROPERTY LINES SHOWN WERE DERIVED FROM AN ON THE GROUND SURVEY CONDUCTED 06/2010. LINES OF OCCUPATION, FOUND MONUMENTATION AND PLAN ENTITLED 'DEFINITIVE PLAN OF LAND FOR BISMARK MEADOWS, NEW BEDFORD, MA, DATED NOVEMBER 01, 2006' PREPARED BY ATLANTIC DESIGN ENGINEERS, INC.
- ORIGIN OF ELEVATIONS IS N.B.C.D. AS REFERENCED IN PLAN REFERENCED IN NOTE #6.
- PARCEL LIES WITHIN FLOOD ZONE X PER FIRM MAP 25005C0377F PANEL #377 OF 550 DATED 7/7/2009.
- WETLAND LINE AND 100' BUFFER FROM PLAN ON RECORD WITH TOWN ENTITLED 'GRADING AND UTILITY PLAN FOR BISMARK MEADOWS, NEW BEDFORD, MASSACHUSETTS. DATED DEC. 12, 2006, LAST REVISED 01-29-07'.



LOCUS MAP  
NOT TO SCALE

I CERTIFY THAT THIS PLAN DEPICTS FOUNDATION AS BUILT CONDITIONS AS THEY EXIST AS OF 01/13/2012.

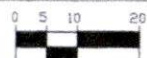
*Edwin H. Gless*  
EDWIN H. GLESS

01/14/2012  
LIC. # 39045



**Existing Grade Inc.**  
Surveyors & Civil Engineers  
PO Box 612  
Dennisport, MA 02639  
508-694-6501 P/Fax

### SCALE



# DATE REVISIONS

### CLIENT

**WELL BUILT HOMES**  
3 LEDGEWOOD AVE.  
DARTMOUTH, MASSACHUSETTS 02747

### FOUNDATION AS BUILT PLAN OF

**62 BISMARK MEADOWS ROAD**  
NEW BEDFORD, MASSACHUSETTS

PROJECT NO.  
1375  
DATE: 01/13/12  
SHEET NO.  
1 OF 1

#62 BISMARK MEADOWS RD.



SEWER INSPECTION

DATE: 6/15/12

CONTRACTOR: W.C. SMITH

INSP: R. BICHEL

PERMIT#: 24269

PLOT: 136 LOT: 512