



PERMIT NO.

24216

CITY OF NEW BEDFORD
SEWER AND/OR STORM DRAIN PERMIT

DATE 9-9-10

This certifies that permission is granted to

Stephen & Kathy Brown Trans of Stephen Brown & Kathy Brown Hawes S. Dominick Trust
Property Owner Address 375 Hawes St Tel. 508 995 1102

To connect a sewer and/or storm drain located at 385 N. X. 375 Hawes St.

Assessor's Plot 127A Lot 153, to the sewer and/or storm drain in Hawes St. Street

To be laid in accordance with the conditions in this application and the City of New Bedford ordinances.
TYPE OF USE: RESIDENTIAL COMMERCIAL INDUSTRIAL FLOW 440 G.P.D.

If applicant other than actual property owner, attach Letter of Authorization from Property Owner.

Name..... Tel.....

Mailing Address.....

The Bonded Contractor/Drain Layer authorized to perform this work is:

Cardoso Contracting 95 R. So. Main St. Acushnet MA 02743
Name Address Tel. 508-998-8210

Type of Pipe Required: SDR 35 PVC

PERMIT EXPIRES ONE YEAR AFTER DATE OF ISSUE

- Requires separate connections for sewage and storm drain where applicable. Storm water cannot be discharged to a sanitary sewer.
- All work must be inspected and approved by a D.P.I. inspector before backfilling.
- If this connection is to be part of a private service shared jointly with other building owners, attach copy of Recorded Joint Maintenance Agreement.
- Permits can be issued to Industrial and/or Commercial Applicants only upon receipt and approval by the Commissioner of Public Infrastructure of required plans and supplemental information.
- In addition, a City-issued Industrial User Discharge Permit and/or a Sewer Extension/Connection Permit issued by the Commonwealth of Massachusetts D.E.P. shall be required by the City for Industrial Discharge into the sewer system.

Industrial User Discharge Permit No..... Date.....

Comm. Mass. Sewer Conn./Ext. Permit No..... Date.....

A Filing and Inspection Fee of \$450.00 plus an Entrance Fee of \$..... where applicable, must accompany this application.

Bank# Citizens Bank Check# 1858 Date 9-9-10 Receipt# 8884

Other requirements: 24 hour notice for inspection @ 508-979-1528

Connection made to Sewer Part of jointly-shared private line YES NO
Storm Drain

Applicant agrees to abide by the above terms, as well as all pertinent ordinances of the City of New Bedford, and such other special rules as the Commissioner of Public Infrastructure and/or City Engineer may deem necessary

Durante M. Andrade
Acting City Engineer

Kathy A Brown
Signature of Property Owner or Representative

INSPECTOR'S REPORT

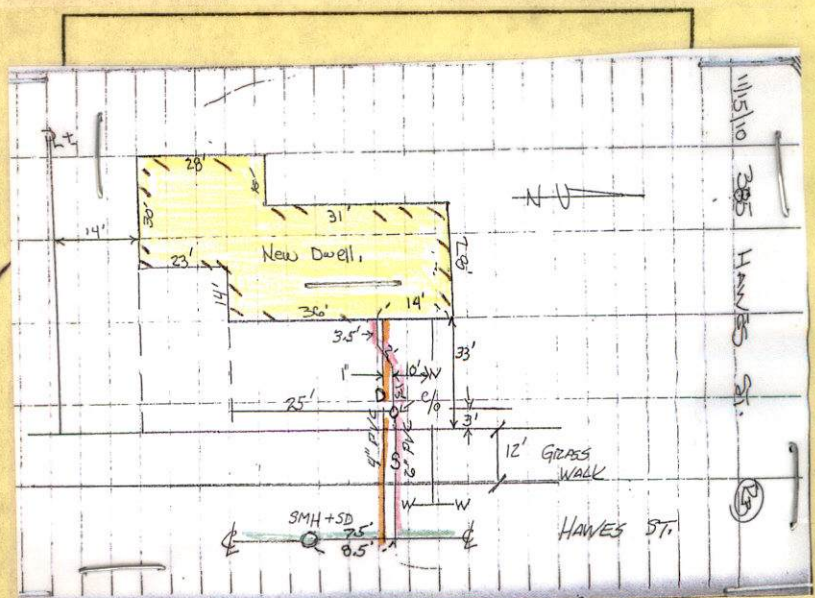
INSPECTED BY: [Signature]
DATE: 11/15/10
COMMENTS:

APPROVED

DISAPPROVED

SIGNATURE

DPI-ENG





PERMIT NO.

24216

CITY OF NEW BEDFORD
SEWER AND/OR STORM DRAIN PERMIT

DATE 9-9-10

Efp 9-9-11

This certifies that permission is granted to

Stephen & Kathy Brown, Treas. of Stephen Brown & Kathy Brown Haws & Namine Trust
Property Owner Address 385 Haws St Tel. 508-995-1102

To connect a sewer and/or storm drain located at N X 3.75 Haws St.

Assessor's Plot 127A Lot 153, to the sewer and/or storm drain in Haws St. Street

To be laid in accordance with the conditions in this application and the City of New Bedford ordinances.
TYPE OF USE; RESIDENTIAL COMMERCIAL INDUSTRIAL FLOW 440 G.P.D.

If applicant other than actual property owner, attach Letter of Authorization from Property Owner.

Name Mailing Address Tel.

The Bonded Contractor/Drain Layer authorized to perform this work is:

Cardoso Contracting 95 R So Main St Acushnet MA 02743

Name Address Tel. 508-998-8210

Type of Pipe Required: SDR 35 PVC

PERMIT EXPIRES ONE YEAR AFTER DATE OF ISSUE

- Requires separate connections for sewage and storm drain where applicable. Storm water cannot be discharged to a sanitary sewer.
- All work must be inspected and approved by a D.P.I. inspector before backfilling.
- If this connection is to be part of a private service shared jointly with other building owners, attach copy of Recorded Joint Maintenance Agreement.
- Permits can be issued to Industrial and/or Commercial Applicants only upon receipt and approval by the Commissioner of Public Infrastructure of required plans and supplemental information.
- In addition, a City-issued Industrial User Discharge Permit and/or a Sewer Extension/Connection Permit issued by the Commonwealth of Massachusetts D.E.P. shall be required by the City for Industrial Discharge into the sewer system.

Industrial User Discharge Permit No. Date.

Comm. Mass. Sewer Conn./Ext. Permit No. Date.

A Filing and Inspection Fee of \$450.00 plus an Entrance Fee of \$ where applicable, must accompany this application.

Bank# Citizens bank Check# 1858 Date 9-9-10 Receipt# 8884

Other requirements: 24 hour notice for inspection @ 508-979-1528

Connection made to Sewer Part of jointly-shared private line YES NO
Storm Drain

Applicant agrees to abide by the above terms, as well as all pertinent ordinances of the City of New Bedford, and such other special rules as the Commissioner of Public Infrastructure and/or City Engineer may deem necessary

Duarte M. Andrade
Acting City Engineer

Kathy A Brown
Signature of Property Owner or Representative

INSPECTOR'S REPORT

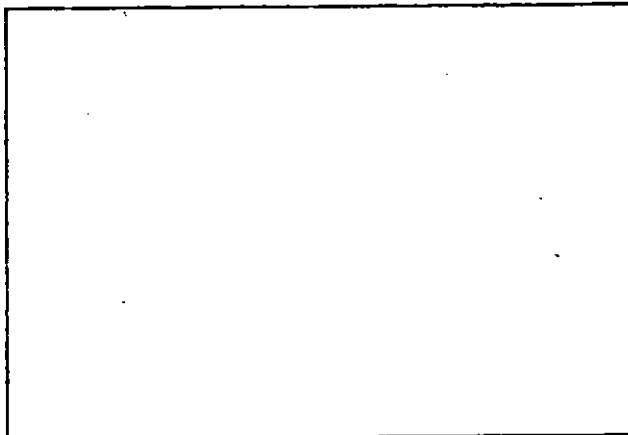
INSPECTED BY: [Signature]
DATE: 11/15/10
COMMENTS:

APPROVED

DISAPPROVED

SIGNATURE

DPI/ENG



SKETCH PLAN



CITY OF NEW BEDFORD

NO. 140410

LICENSE NO. _____

DATE 8/26 2010

FOUNDATION PERMIT

MSBC Sect. 111.8 – Any permit issued shall be deemed abandoned and invalid unless the work authorized by it shall have been commenced within six (6) months after its issuance.

This certifies that Stephen Brown (owner/contractor)
has permission to install foundation 36x28 w/ attached garage 30x28
on Hewes St. Trct 127A, Lot 153

providing that the person accepting this permit shall in every respect conform to the terms of the application therefor on file in this office; to the provisions of the Statute of the Commonwealth and to the By-Laws of the City of New Bedford relating to the Inspection, Erection, Enlarging, Altering, Raising, Moving, Repairing or Tearing Down of a Building.

WIRING INSPECTOR

PLUMBING INSPECTOR

BUILDING INSPECTOR

YOUR AREA INSPECTOR IS:

Thomas Welch

ROUGH FINISH

- Tel. 979-1540 Between 8:00 AM – 9:00 AM

NOTICE: NOTIFY INSPECTOR 48 HOURS
IN ADVANCE OF APPLYING
SHEATING OR LATHING

OCCUPANCY PERMIT REQUIRED BEFORE OCCUPANCY

No Building or Structure shall be used or occupied until the Certificate of Use and Occupancy shall have been issued by the Building Commissioner – MSBC. Sect. 120.1 – N.B. Zoning Ord. Sect. 9-269

THIS CARD MUST BE DISPLAYED IN A CONSPICUOUS PLACE ON THE PREMISES
AND NOT TORN DOWN OR REMOVED UNTIL COMPLETION OF WORK

SUBJECT TO MASSACHUSETTS STATE
BUILDING CODE REQUIREMENTS

Thomas Welch

Commissioner Ronald H. Labelle
Department of Public Infrastructure
1105 Shawmut Ave.
New Bedford, Ma. 02746

June 27, 2010

Dear Commissioner Labelle:

My name is Stephen Brown and I currently reside at 375 Hawes St. New Bedford. I also own the vacant form A lot abutting the north side of the property. The lot is located on the west side of Hawes St.. The parcel ID for 375 Hawes St. is 127A 151. The lot is described in the deed as Hawes St., Lot 4.

At this time I would like to build a single family residential home on the vacant lot. However, there was work done on Hawes St and it was first coated in the Spring/Summer of 2006. The final coat being done in the Spring/Summer of 2007 . In order to go forward with the project, I would need to disrupt the street in order to tie into city utilities. I have contacted NSTAR gas and have also obtained bids from reputable contractors on the city bonded list regarding the proper tie-ins.

I write this letter as a request for obtaining the necessary permits required to go forward within the 5 year window of street disruption. Because of the economy being so difficult these past years, if I could sell this property in a build to suit method, it would greatly help us financially. I would also consider selling the residence I presently live in at 375 Hawes Street and with the money build a home for my immediate family to live in.

I enclose my phone number and address and would be happy to answer any questions or meet with city representatives regarding this matter.

Thank you for your consideration.
Respectfully,



Stephen Brown
375 Hawes St.
New Bedford, Ma
(508) 995-1102



CITY OF NEW BEDFORD

Scott W. Lang, Mayor

Department of Public Infrastructure

Ronald H. Labelle
Commissioner

Water
Wastewater
Highways
Engineering

Hawes St.

July 26, 2010

Stephen & Kathy Brown, Trs. Of
Stephen Brown & Kathy Brown Hawes Street Nominee Trust
375 Hawes St.
New Bedford, MA 02745

Dear Mr. & Mrs. Brown:

The City of New Bedford would like to inform you that we will allow you to build on the vacant lot adjacent to 375 Hawes St. Water and sewer mains are available for service connections directly in front of your property.

Your Bonded Contractor will be required to place flowable fill in all the roadway trenches.

If you should have any further questions or concerns, please feel free to contact this office at 508-991-6395.

Sincerely,

Michele E. Silva

Michele E. Silva
Clerk of the Works



One NSTAR Way
Westwood, Massachusetts 02090

July 16, 2010

RE: Plot/Lot 127-A-153, Hawes Street, New Bedford, MA

Dear Mr. Brown,

NSTAR Gas can provide gas service to your lot. There is a 4.00" low pressure gas main located in Hawes Street.

The main is located 18 feet from your curb line easterly.

If you or your agents have any questions, please contact me.

Sincerely,

Noel E. Almeida
Gas Sales Representative
NSTAR Gas
175 MacArthur Drive
New Bedford, MA 02740
508-441-5896
508-441-5830 (fax)
Noel.Almeida@nstar.com

Michele Avila-Silva

From: Ronald Labelle
Sent: Friday, July 23, 2010 3:26 PM
To: Michele Avila-Silva
Subject: RE: Hawes St.

OK, must use flowable fill...

From: Michele Avila-Silva
Sent: Thursday, July 22, 2010 9:06 AM
To: Ronald Labelle
Subject: RE: Hawes St.

Ron,

They would only need to excavate about 5 ft into the street.

Mich

From: Ronald Labelle
Sent: Thursday, July 22, 2010 8:58 AM
To: Michele Avila-Silva
Subject: RE: Hawes St.

Michele:

How many linear ft of trench are we talking about?

From: Michele Avila-Silva
Sent: Wednesday, July 21, 2010 3:30 PM
To: Ronald Labelle
Subject: Hawes St.

Ron,

Do you recall receiving a letter from Stephen & Kathy Brown regarding installing service utilities in Hawes St. to build on a lot they own? Mrs. Brown stated she had spoken with Zeb about this, send a letter to you and that you wanted a letter from NSTAR Gas that service would be available directly in front of the property and would not need to run a main down the street.

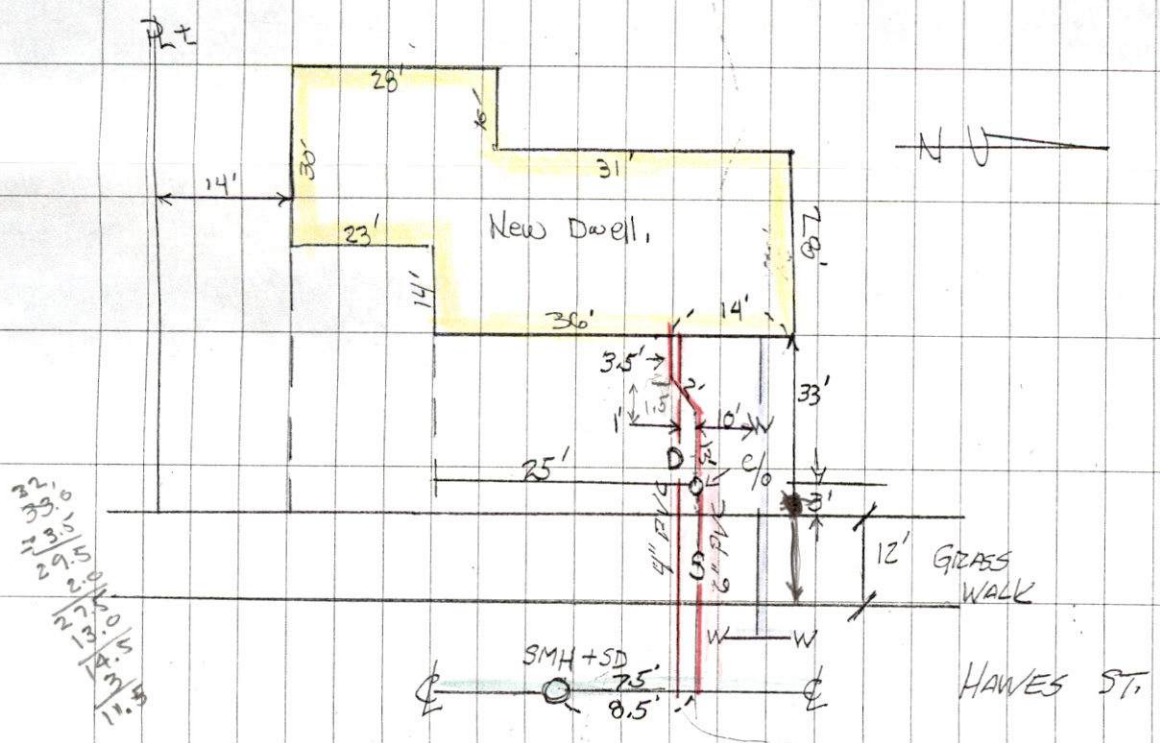
Mrs. Brown has given me the letter from NSTAR Gas. The gas main is 18 feet off the easterly curb line. This vacant parcel is on the west side of the street.

Mrs. Brown is looking for us to issue a letter to her – stating that all utilities are available, for financing.

Michele

11/15/10 385 HAWES ST.

(15)



32.0
33.0
23.5
29.5
22.0
13.0
14.5
11.5

(152)

SEWER+DRAIN
1.5-1N
INSPECTION

CONTRACTOR: NELSON CANTO

PERMIT # 24216

INSTALLATION: 11/15/10

INSPECTOR: BOB ROCHER

OWNER: STEPHEN & KATHY BOGGS

PLAT NO. 153

SUBMIT TO PUBLIC
SUBMIT FOR
RECORDS