



CITY OF NEW BEDFORD

CONSTRUCTION OF  
SIDEWALK / DRIVEWAY

MASSACHUSETTS

ENGINEERING 508.979.1550

Expiration Date: March 13, 2024

Permit Number: 11843 Date: March 13, 2023

Property Owner: TAL Realty LLC Telephone Number: 508-617-3718

Owner Address: 18 Avis St Dorchester Ma 02148  
Street City State Zip Code  
☒ Permit not pulled by owner, pulled with permission slip

The above hereby request permission to construct a: ☒ driveway / ☒ sidewalk located at Rock Ave (US) 1816 S x Hudson St (Unit 9 x 10) Plot 5 Lot 7 to be constructed in accordance with the city's latest construction standards and specifications and adhere to the Ordinances of the City of New Bedford.

Dimensions		Driveway		Dimensions	
<input checked="" type="checkbox"/> Sidewalk		<input checked="" type="checkbox"/> Residential		<input checked="" type="checkbox"/> Residential	<u>18 x 30</u>
<input type="checkbox"/> Commercial		<input type="checkbox"/> Commercial		<input type="checkbox"/> Commercial	
<input type="checkbox"/> Hot Mix Asphalt		<input type="checkbox"/> Relocation / Widening		<input type="checkbox"/> Relocation / Widening	
<input checked="" type="checkbox"/> Concrete Full Width		<input type="checkbox"/> Hot Mix Asphalt		<input type="checkbox"/> Hot Mix Asphalt	
<input checked="" type="checkbox"/> Concrete w/Grass Ribbon	<u>48 ft x 5</u>	<input checked="" type="checkbox"/> Concrete		<input type="checkbox"/> Concrete	<u>18 x 30</u>
<input checked="" type="checkbox"/> Curbing Needed	<u>48 ft</u>	<input type="checkbox"/> Curb Removal		<input type="checkbox"/> Curb Removal	

Comments: New Build, install driveway barrier, install sidewalk & curbing between driveway 18 ft, install curb & granite curbing sidewalk driveway 3x5 ft

Bonded Contractor: Ross Excavating Co Tel: 508-636-3883

Traffic Commission: \_\_\_\_\_ Approved \_\_\_\_\_ Rejected \_\_\_\_\_ Date \_\_\_\_\_

Signature \_\_\_\_\_

Building Department:

Approved (New Build) \_\_\_\_\_  
Approved-Bldg. Permit# \_\_\_\_\_  
Rejected \_\_\_\_\_

Signature \_\_\_\_\_

Engineering	Approved	Rejected	Date
Department:	<input checked="" type="checkbox"/>		

Permit Site Visit  
Signature \_\_\_\_\_

Permit / Inspection fee of \$150.00 must accompany this application for driveway work.  
Permit / Inspection fee of \$50.00 must accompany this application for sidewalk only work.  
Special Requirements: Contractor to call 24 hrs. in advance for pre-inspection (prior to pouring). If curbing is removed, it must be returned in whole pieces within 24 hrs. to the DPI City Yard on Liberty St. (Between Parker St & Duffee St) accompanied with original curbing receipt.

PAID: 3/16/2023 Check Number: 1040

~~Permit for Driveway~~ 144 MEE L. PASCUA  
Supervising Civil Engineer AP Print Name (Property Owner / Representative)

By: Shirley Jones Signature (Property Owner / Representative)

**T.A.L. REALTY LLC**  
18 AVIS ST  
SOUTH DARTMOUTH, MA 02748

CHECK AMOUNT  
12  
53-7064/2113

1040

PAY TO THE ORDER OF  
City of New Bedford  
One hundred fifty dollars  
DOLLARS



FOR Driveway #5 Permit Brock Ave

*5700*

⑈001040⑈ ⑆211370642⑆902494038⑈

MISCELLANEOUS PAYMENT RECPT#: 4316200  
City of New Bedford  
Office of the Treasurer  
133 William Street  
New Bedford, MA 02740

DATE: 03/10/23 TIME: 14:09:44  
CLERK: a450mmh DEPT:  
CUSTOMER#: 0

COMMENT:

CHG: DPIDRV DPI DRIVEWAY PE 150.00

REVENUE:  
1 03406000 454010 150.00  
DPI - Driveway-Sidewalk Permit  
PERMIT 11843

CASH:  
TWO5 101009 150.00  
WEB5537

AMOUNT PAID: 150.00

PAID BY: TAL REALTY  
PAYMENT METH: CHECK  
MR1040

REFERENCE:

AMT TENDERED: 150.00  
AMT APPLIED: 150.00  
CHANGE: .00

**Amanda Jupin**

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**From:** Jason Braz <jbraz45@comcast.net>  
**Sent:** Thursday, February 23, 2023 8:03 AM  
**To:** Amanda Jupin  
**Subject:** [EXTERNAL] Contact and Permission Letter

Good morning Amanda,  
Attached is the permission letter and contact information for Davis Cardoso.  
David Cardoso  
(508) 617-3778

May 11, 2022

To: Civil & Environmental Consultants, Inc.

From: T.A.L. Realty LLC


Re: Jason Braz, Steve Gioiosa

Dear Sir/Madam:

T.A.L. Realty LLC hereby grants Jason Braz, Steve Gioiosa and CEC Inc. permission to apply for any and all permits, permission to make applications and present data on the owner's behalf for T.A.L.'s development project on Brock Avenue, New Bedford, MA.

T.A.L. REALTY LLC

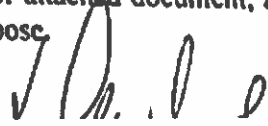
Dated: May 11, 2022

By:   
David M. Cardoso, Manager

COMMONWEALTH OF MASSACHUSETTS

County of:

On this 11<sup>th</sup> day of May, 2022, before me, the undersigned notary public, personally appeared the above named, David M. Cardoso who proved to me through satisfactory identification, being: ☐ driver's license or other state or federal governmental document bearing a photographic image, ☐ oath or affirmation of a credible witness known to me who knows the above signatory, or ☒ my own personal knowledge of the identity of the signatory, to be the person whose name is signed on the preceding or attached document, and acknowledged to me that he/she signed it voluntarily for its stated purpose.

  
2

Secretary of the Commonwealth of Massachusetts

William Francis Galvin

Business Entity Summary

ID Number: 001530697

Summary for: T.A.L. REALTY LLC

Request certificate

New search

The exact name of the Domestic Limited Liability Company (LLC): T.A.L. REALTY LLC

Entity type: Domestic Limited Liability Company (LLC)

Identification Number: 001530697

Date of Organization in Massachusetts: 09-08-2021

Last date certain:

The location or address where the records are maintained (A PO box is not a valid location or address):  
Address: 18 AVIS STREET  
City or town, State, Zip code, Country: DARTMOUTH, MA 02748 USA

The name and address of the Resident Agent:  
Name: DAVID M. CARDOSO  
Address: 18 AVIS STREET  
City or town, State, Zip code, Country: DARTMOUTH, MA 02748 USA

The name and business address of each Manager:

Title	Individual name	Address
MANAGER	DAVID M. CARDOSO	18 AVIS STREET DARTMOUTH, MA 02748 USA

In addition to the manager(s), the name and business address of the person(s) authorized to execute documents to be filed with the Corporations Division:



Commonwealth of Massachusetts

# CITY OF NEW BEDFORD

City Hall, Room 308, 133 William Street New Bedford, MA 02740 (508) 979-1540



Permit No. **89648**

**December 17, 2022**

## BUILDING PERMIT

MSBC Sect. 110.14 - Any permit issued shall be deemed abandoned and invalid unless the work authorized by it shall have been commenced within six (6) months after its issuance.

FEE PAID: **\$200.00**

Parcel ID:

This certifies that **JASON BRAZ** Contractor Lic. #  
owner/contractor has permission to: **Foundations Only Multi-Family - 200.00**  
on: **WS-5-7 BROCK AVE**

Providing that the person accepting this permit shall in every respect conform to the terms of application therefore on file in this office; to the provisions of the statute of the Commonwealth and to the by-laws of the City of New Bedford relating to the inspection, erection, enlarging, altering, raising, moving, repairing, or tearing down of a building.

Permit is issued subject to the following special requirements: (Restrictions)

### BUILDING DEPARTMENT COMMENTS

Construct Foundations for 10 new townhouses as per plans stamped and Construction Control by Edward S. Porzio # 7933

YOUR AREA INSPECTOR IS: \_\_\_\_\_ Tel. (508) 979-1540 Between 8:00am - 9:00am

**NOTICE: NOTIFY INSPECTOR 48 HOURS IN  
ADVANCE OF APPLYING SHEATHING OR LATHING**

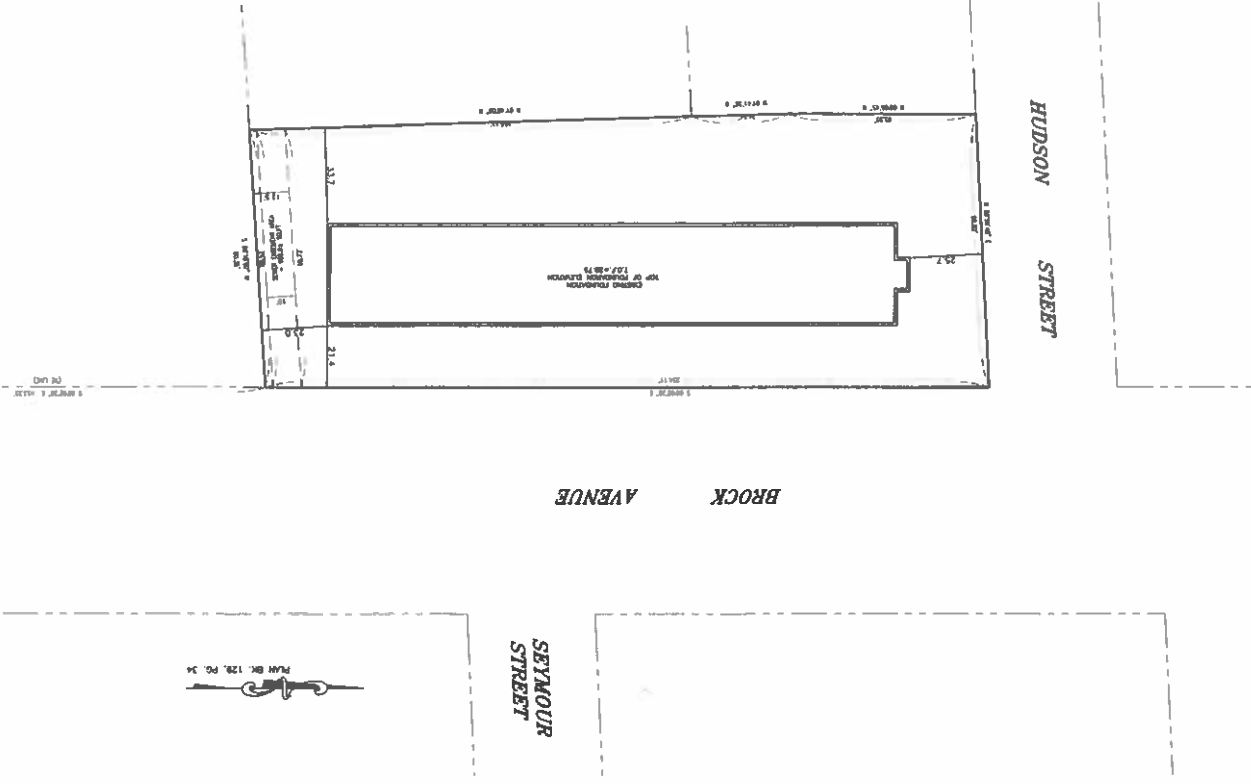
### OCCUPANCY PERMIT REQUIRED BEFORE OCCUPANCY

No Building or Structure shall be used or occupied until the Certificate of Use and Occupancy Shall have been issued by the Building Commissioner - MSBC, Sect. 120.1

**This Card Must Be Displayed in a Conspicuous Place on the Premises and Not Torn Down or Removed Until Completion of Work**

SUBJECT TO MASSACHUSETTS  
STATE BUILDING CODE:

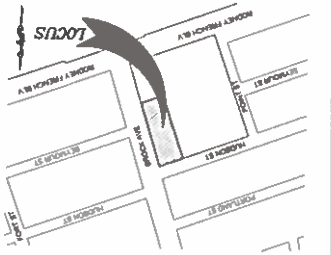
Building Commissioner



PLAN BY: 129, PG. 34

LOCUS MAP

SCALE: 1"=100' 8"



SCALE: 1"=100' 8"

FAB-1

FOUNDATION AS-BUILT PLAN  
DATE: FEBRUARY 04, 2023  
PROJECT NO: 1-2023  
DRAWN BY: [Signature]  
CHECKED BY: [Signature]  
PROJECT NO: 211-188

TAL REALTY, LLC  
RESIDENTIAL TOWNHOUSE  
ASSESSORS MAP 5 - LOT 7  
NEW BEDFORD, MASSACHUSETTS

**CEE**  
Civil & Environmental Consultants, Inc.  
31 Bedford Road, Framingham, MA 01702  
PH: 774.801.2176 FAX: 774.801.2004  
WWW.CEE-CONS.COM

NO.	DATE	REVISION
1	02/04/23	ISSUED FOR PERMIT
2	02/04/23	ISSUED FOR PERMIT
3	02/04/23	ISSUED FOR PERMIT
4	02/04/23	ISSUED FOR PERMIT
5	02/04/23	ISSUED FOR PERMIT
6	02/04/23	ISSUED FOR PERMIT
7	02/04/23	ISSUED FOR PERMIT
8	02/04/23	ISSUED FOR PERMIT
9	02/04/23	ISSUED FOR PERMIT
10	02/04/23	ISSUED FOR PERMIT



November 1, 2022

Stephanie Crampton, E.I.T.  
*Assistant City Engineer*  
Department of Public of Infrastructure  
1105 Shawmut Avenue  
New Bedford, MA 02746

Attention: Permits Office

**REFERENCE: TAL REALTY, LLC  
10 UNIT RESIDENTIAL TOWNHOUSE  
ASSESSORS MAP 5 - LOTS 7 & 170  
NEW BEDFORD, MA**

Dear Ms. Crampton:

By my signature below, I, David Cardoso, do hereby authorize Civil & Environmental Consultants, Inc. (CECI), located at 31 Bellows Road Raynham, MA 02767 Phone: (774)501-2176 Email: sgalozsa@cecinc.com to act as my agent for the purpose of seeking all requisite permits and approvals and preparing the supporting engineering and design documents related to the access permit for the proposed commercial development located at Assessor's Map 5 Lots 7 & 170 in the City of New Bedford.


Sincerely,

  
\_\_\_\_\_  
Owner Name and Signature

COMMONWEALTH OF MASSACHUSETTS  
BRISTOL SS

I hereby certify that on this day 2nd of November 2022, before the subscriber, a notary in and for the State and County of aforesaid, personally appeared David Cardoso, who is personally known to me and did acknowledge the foregoing to be his/~~her~~ act and the purposed herein contained.

Witness my hand and notarial seal and date above written.

  
Notary Public Debby A. Gauvin  
My Commission Expires: 8/10/2023