



CITY OF NEW BEDFORD
MASSACUSSETTS

CONSTRUCTION OF
SIDEWALK / DRIVEWAY

ENGINEERING 508.979.1550

Permit Number: 11835 Expiration Date: 1/9/2024
Date: 1/9/2023

Property Owner: Daniel Carvalho Telephone Number: 774-301-5315

Owner Address: 489 John St New Bedford MA

Street City State Zip Code

☒ Permit not pulled by owner, pulled with permission slip

The above hereby request permission to construct a: X driveway / sidewalk located at 489 John St, Plot 33, Lot 54 to be constructed in accordance with the city's latest construction standards and specifications and adhere to the Ordinances of the City of New Bedford.

Sidewalk	Dimensions	Driveway	Dimensions
<u> </u> Residential <u> </u>	<u> </u>	<u>X</u> Residential <u> </u>	<u>18</u> x <u>13</u>
<u> </u> Commercial <u> </u>	<u> </u>	<u> </u> Commercial <u> </u>	<u> </u>
<u> </u> Hot Mix Asphalt <u> </u>	<u> </u>	<u> </u> Relocation / Widening <u> </u>	<u> </u>
<u> </u> Concrete Full Width <u> </u>	<u> </u>	<u> </u> Hot Mix Asphalt <u> </u>	<u> </u>
<u> </u> Concrete w/Grass Ribbon <u> </u>	<u> </u>	<u>X</u> Concrete <u> </u>	<u>18</u> x <u>13</u>
<u> </u> Curbing Needed <u> </u>	<u> </u>	<u> </u> Curb Removal <u> </u>	<u> </u>

Comments: Install new 18ft x 13ft cement concrete driveway install new vertical granite curb along frontage of property w/ 4ft curb returns @ driveway

Bonded Contractor: Morgado Tel: 774-203-4125

Traffic Commission: Approved Rejected Date

Signature

Building Department:

 Approved (New Build)
 Approved-Bldg. Permit# 22-3211
 Rejected

Danny Ramonczyk
Signature DR

Engineering Department: X Approved Rejected Date 1/9/2023

Daniel Site Visit
Signature

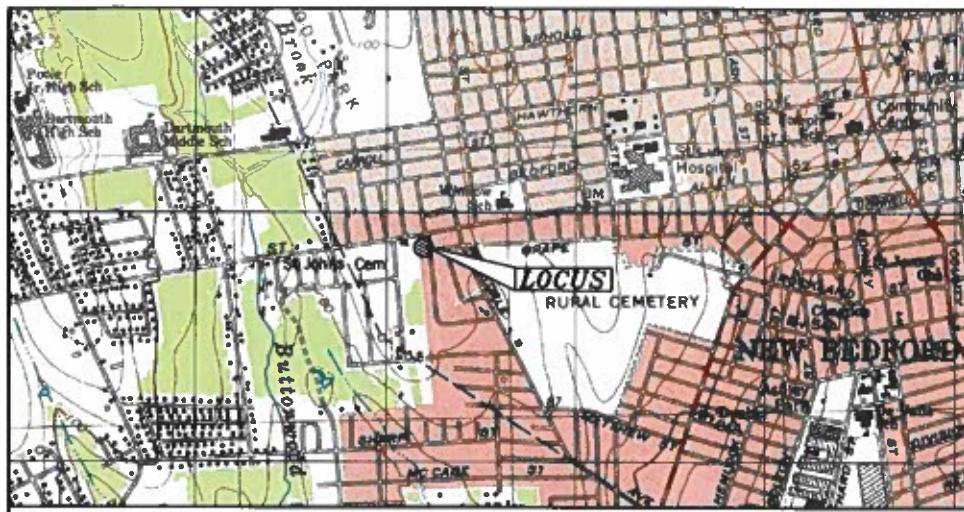
Permit / Inspection fee of \$150.00 must accompany this application for driveway work.
Permit / Inspection fee of \$50.00 must accompany this application for sidewalk only work.

Special Requirements: Contractor to call 24 hrs. in advance for pre-inspection (prior to pouring). If curbing is removed, it must be returned in whole pieces within 24 hrs. to the DPL City Yard on Liberty St. (Between Parker St & Duffee St) accompanied with original curbing receipt.

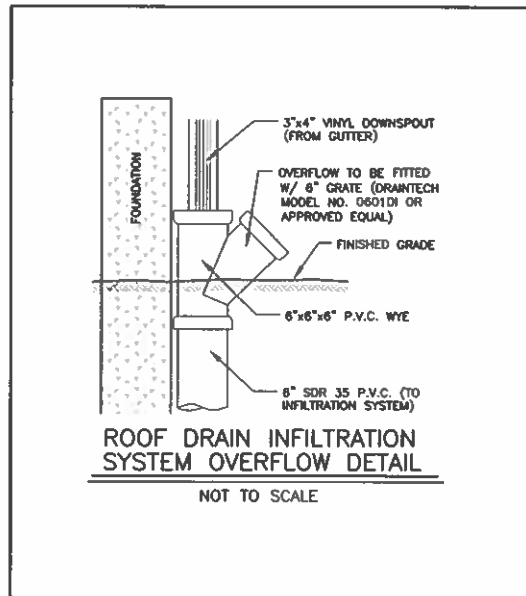
PAID: \$150⁰⁰ Check Number: 3292

Stephanie Morgado * Sarah Morgado
Supervising Civil Engineer Print Name (Property Owner Representative)

By: Shane Dupin * Shane Dupin
Signature (Property Owner / Representative)



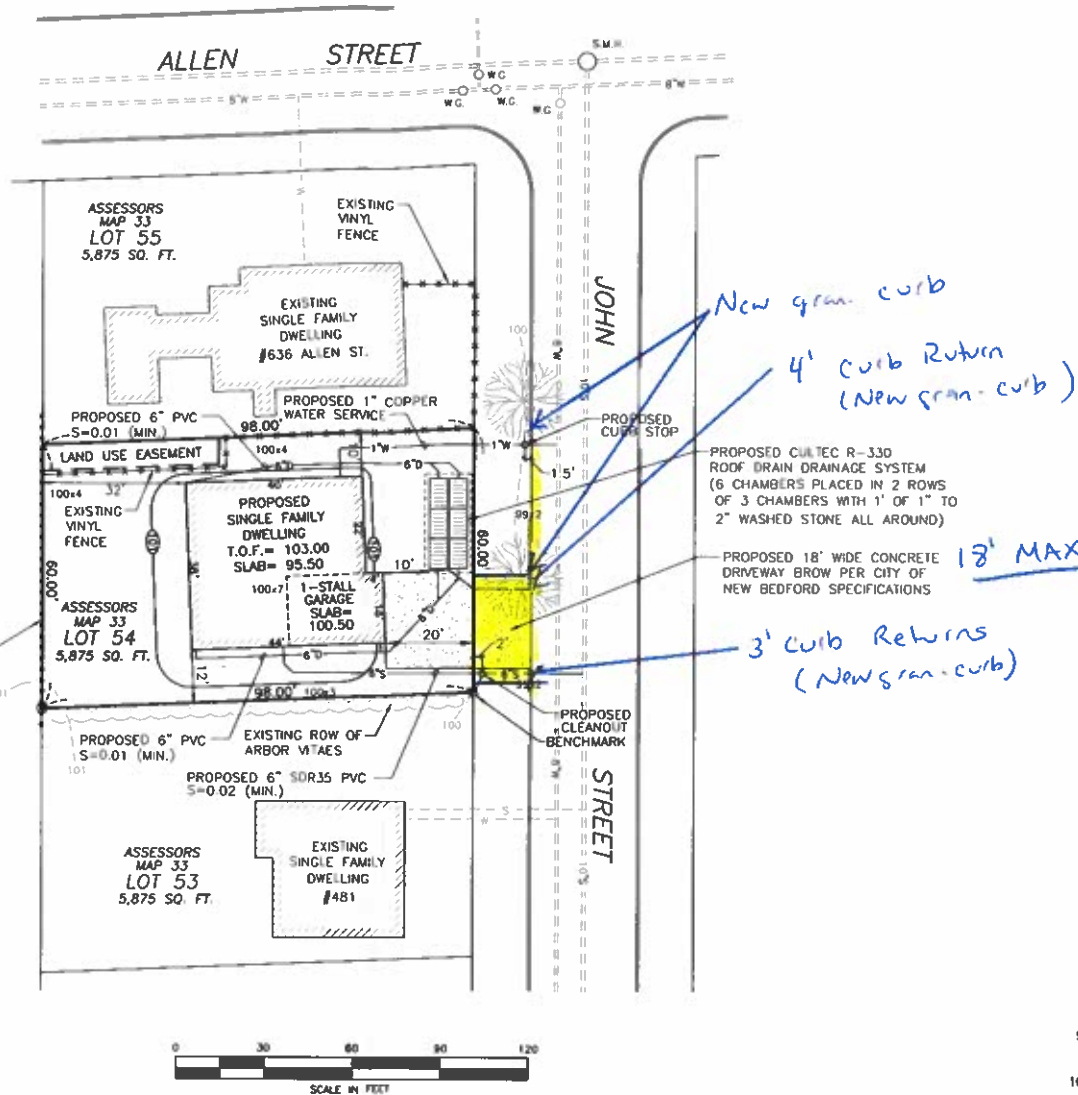
LOCUS MAP
(NOT TO SCALE)



ROOF DRAIN INFILTRATION
SYSTEM OVERFLOW DETAIL

NOT TO SCALE

ASSESSORS
MAP 33
LOT 3
ST. JOHN
BAPTIST CHURCH

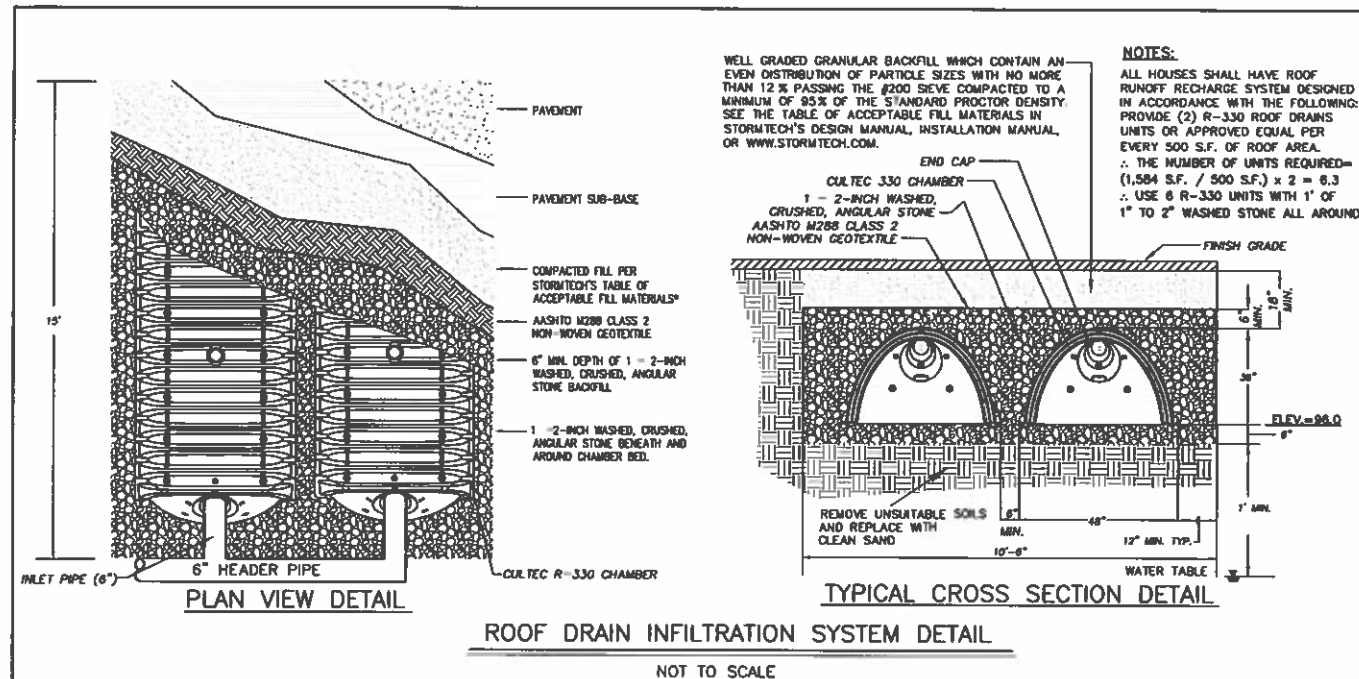


SCALE IN FEET
0 30 60 90 120

LEGEND	
EDGE OF WETLANDS	TREE LINE
E-9x WETLAND FLAG	TREE
ET&C UNDERGROUND ELECTRIC, CABLE AND TELEPHONE	LIGHT POST
DRAIN LINE	GAS LINE
S SEWER LINE	TELEPHONE LINE
W WATER MAIN	I.P.#2 TEST PIT
UP UTILITY POLE	GUARDRAIL
HYDRANT	X X X STOCKADE FENCE
FM FORCE MAIN	DMH DRAIN MANHOLE
PROPERTY LINE	CB CATCH BASIN
EDGE OF BUILDING	SMH SEWER MANHOLE
EXISTING CONTOUR	SILT FENCE
PROPOSED CONTOUR	EDGE OF DITCH

GENERAL NOTES:

- CONTRACTOR SHALL NOTIFY DIG SAFE AT LEAST 72 HOURS PRIOR TO THE START OF CONSTRUCTION.
- CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF ALL UTILITIES PRIOR TO THE START OF CONSTRUCTION. THESE PLANS ARE BASED ON FIELD AND RECORD INFORMATION AND, THEREFORE, MAY NOT COMPLETELY DEPICT ALL EXISTING UTILITIES.
- CONTRACTOR SHALL NOTIFY THE OWNER AND ENGINEER IMMEDIATELY IF FIELD CONDITIONS ARE FOUND TO DIFFER WITH THESE DRAWINGS.
- THE CONTRACTOR SHALL PROVIDE ADEQUATE PROTECTION OF THE ADJACENT AREA AND UTILITIES IN THE CONSTRUCTION OF THIS SITE. REPAIR OF DAMAGED PROPERTY SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AT NO COST TO THE OWNER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROPERLY WATERPROOFING THE BASEMENT. NO DETERMINATION OF THE HIGH GROUNDWATER ELEVATION HAS BEEN MADE BY THE ENGINEER ON THIS LOT.
- CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETING ALL CONSTRUCTION.
- ALL WORK SHALL BE IN ACCORDANCE WITH THE DEPARTMENT OF PUBLIC INFRASTRUCTURE CONSTRUCTION SPECIFICATIONS, LATEST REVISION.
- ALL CONSTRUCTION SHALL COMPLY WITH THE CITY OF NEW BEDFORD DPW STANDARDS.
- THE PROPOSED CONCRETE SIDEWALK AND DRIVEWAY APRONS MUST MEET CURRENT A.D.A. AND CITY STANDARDS. THE PROPOSED DRIVEWAYS SHALL BE 6" CEMENT CONCRETE WITH 6"x6" GAUGE WIRE MESH.
- THE CONTRACTOR SHALL NOTIFY THE ENGINEERING DIVISION 24 HOURS IN ADVANCE TO ENSURE THE PROPOSED SIDEWALK AND DRIVEWAY APRONS AND WHEELCHAIR RAMPS WILL MEET THE CURRENT A.D.A. AND CITY OF NEW BEDFORD STANDARDS.
- PERMITS FOR DRAINAGE, WATER, SIDEWALKS AND DRIVEWAYS MUST BE OBTAINED FROM THE DEPARTMENT OF PUBLIC INFRASTRUCTURE (DPI) ENGINEERING DIVISION BY OWNER.
- ALL UTILITY WORK TO BE CONDUCTED PER DPI SPECIFICATION.
- THE DEVELOPER AND SITE CONTRACTOR MUST SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE DEPARTMENT OF PUBLIC INFRASTRUCTURE PRIOR TO START OF CONSTRUCTION.



ROOF DRAIN INFILTRATION SYSTEM DETAIL

NOT TO SCALE

NOTES:

ALL HOUSES SHALL HAVE ROOF RUNOFF RECHARGE SYSTEM DESIGNED IN ACCORDANCE WITH THE FOLLOWING: PROVIDE (2) R-330 ROOF DRAIN UNITS OR APPROVED EQUAL PER EVERY 500 S.F. OF ROOF AREA. \therefore THE NUMBER OF UNITS REQUIRED = $(1,584 \text{ S.F.} / 500 \text{ S.F.}) \times 2 = 6.3$ \therefore USE 6 R-330 UNITS WITH 1' OF 1" TO 2" WASHED STONE ALL AROUND

BENCHMARK:

TOP OF GRANITE BOUND
LOCATED ON THE SOUTHEAST
PROPERTY CORNER.
ELEVATION = 100.00 (ASSUMED)

ZONING REQUIREMENTS:

ZONING - RESIDENCE - B (RB)

SINGLE FAMILY
MINIMUM LOT SIZE - 8,000 SQ. FT
FRONTAGE - 75'
FRONT YARD - 20'
SIDE YARD - 10'/12'
REAR YARD - 30'
BUILDING LOT COVERAGE - 30%
GREEN SPACE REQUIRED - 35%

SITEC Civil and Environmental Engineering Land Use Planning 449 Fausch Corner Road Dartmouth, MA 02747 (508) 998-2125 FAX (508) 998-7554		12-8-17 11-13-17 revised: 4-12-17
project: ASSESSORS MAP 33 LOT 54 JOHN STREET NEW BEDFORD, MASSACHUSETTS	scale: 1" = 20' date: 9-15-16 drawn: JPT checked: SDG approved: SDG	
client: DEREK CARVALHO	drawing title: PLOT PLAN	sheet 1 of 1 drawing number: 16- _PP

Driveway Review Form

Submitted By: nb.dennis.souza

Submitted Time: 11/18/2022 7:55 AM

WO #: 22-019482

Date & Time: November 18, 2022 7:46 AM

DPI Inspector: DRS

Bldg. Inspector: Jimmy Pappas

Contractor: Morgado

Granite Curb: No curb deposit. Contractor to supply and install new granite curb.

Address: 489 John St

Owner: Derek Carvalho & Michele Monteiro

Permit #: TB-22-3211

Property

Plot #: 33 Lot #: 54

Permit Notes (Prop. Work): Concrete apron and granite curbing.

City Layout: 13-ft

Additional Inspection Notes:

*All work to be completed in accordance with most current revision of the City of New Bedford DPI Construction Standards and Specifications. Including but not limited to curb lock on both sides of 6"x18" vertical granite curb and driveway prepped for 6-inches of cement concrete.

**Contractor must have driveway inspected before pouring concrete and curb lock inspected prior to backfilling.

1. Install new 18-ftx 13-ft cement concrete DW apron. 2. Install new vertical granite curb along frontage of property with 4-ft curb returns at driveway.

489 John St



MSBC Section 110.14 - Any permit issued shall be deemed abandoned and invalid unless the work authorized by it shall have been commenced within six (6) months after its issuance.

11/18/2022

FEE PAID: \$30.00

Contractor Lic. #

ParcelID 33-54

Driveways - 30.00

1

Permit is issued subject to the following special requirements: (Restrictions)

BUILDING DEPARTMENT COMMENTS

: Concrete Apron and granite curbing as per plan

Comments from DPI

including but not limited to curb lock on both sides of 6"x18" vertical granite curb and driveway prepared for 6-inches of cement concrete.

***Failure to complete the work in accordance with these comments, the approved site plan and City standards will result in the certificate of

occupancy request being denied.

1. Install new 18-ft x 13-ft cement concrete driveway apron.
2. Install new vertical granite curb along frontage of property with 4-ft curb returns at driveway.

Tel. (508) 979-1540 Between 8:00am - 9:00am

NOTICE: NOTIFY INSPECTOR 48 HOURS IN ADVANCE OF APPLYING SHEATHING OR LATHING

OCCUPANCY PERMIT REQUIRED BEFORE OCCUPANCY

No Building or Structure shall be used or occupied until the Certificate of Use and Occupancy shall have been issued by the Building Commissioner - MSBC, Sect. 120.1

SUBJECT TO MASSACHUSETTS
STATE BUILDING CODE

Danny J. O'Rourke
Building Commissioner

Plan Review Comments:

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CITY OF NEW BEDFORD
Jonathan F. Mitchell, Mayor

Department of Public Infrastructure

Jamie Ponte
Commissioner

Water
Wastewater
Highways
Engineering
Cemeteries
Park Maintenance
Forestry
Energy

To Whom It May Concern:

I Derrick Carvalho 489 John St., being
(Name) (Mailing Address)

Owner of property located at

489 John St.

Plot 33, Lot 54, hereby agree to allow Morgado Company Inc.
(Name)

1 Annie's Path Lakeville to act on my behalf including affixing my
(Mailing Address)

Signature in securing permit for:

☐ Sewer/Drain Service Permits
☐ Water Service Permits
☐ Driveway Installation Permits
☒ Sidewalk Installation Permits

I further agree to conform to, and abide by, All City rules and ask regulations applicable to the permit (s) being applied for:

Name Derrick Carvalho

489 John St.
Address

Jan 9, 2022
Date

774-301-5315
Telephone Number

MISCELLANEOUS PAYMENT RECPT#: 4226048
City of New Bedford
Office of the Treasurer
133 William Street
New Bedford, MA 02740

DATE: 01/09/23 TIME: 12:02:39
CLERK: a450mtb DEPT:
CUSTOMER#: 0

COMMENT:

CHG: DPIDRV DPI DRIVEWAY PE 150.00

REVENUE:

1 03406000 454010 150.00
DPI - Driveway-Sidewalk Permit
PERMIT 11835

CASH:

TW05 101009 150.00
WEB5537

AMOUNT PAID: 150.00

PAID BY: MORGADO COMP
PAYMENT METH: CHECK
MR3292

REFERENCE:

AMT TENDERED: 150.00
AMT APPLIED: 150.00
CHANGE: .00

PAY TO THE ORDER OF

MORGADO COMPANY INC.

DATE Jan 9, 2023

5-7515/110 3292

City of New Bedford \$150.00

one hundred + fifty — 00/100 DOLLARS

Santander Bank, N.A.

1010751501 133001380571 3292

3292

ASR-D.P.I. Engrg.

RE: TB-17-617

John St. (W.S.) 90' S. x Allen St.

Plot 33 Lot 54

Reviewed 12/8/2017

Requirements to be met by Owner (or his representative) for this project:

1.) The site plan submitted to D.P.I. via e-mail with a revision date of 12/8/2017 (originally dated 9/15/2016), prepared by Sitec and stamped/signed by Steven D. Gioiosa (P.E.-Civil), was approved by D.P.I.

Note: The Owner (or his representative) is responsible for making sure that Inspectional Services is provided with the latest revised plan.

2.) Must provide 3 "stamped"/signed copies of the site plan approved by D.P.I. at the time of this review, when applying for water, sewer/drain and driveway permits at D.P.I. [Any revisions made to the site plan after it has been approved by D.P.I. must be re-submitted for approval, even if the revisions were made per the requirements of another Department.] Also, a copy of the foundation permit and of the "stamped"/signed foundation as-built plan must also be submitted.

Note: Any representative obtaining permits on behalf of the owner must provide D.P.I. with a permission slip. If the property was acquired within the past 3 months, then the new owner must also provide a copy of the recorded deed showing property ownership.

3.) Must contact D.P.I.-Engineering to measure for building number (address) once front door is framed. The C.O. will not be signed unless the legal address assigned by the City is permanently affixed to, above, or next to, the entrance to which it was assigned such that it is highly visible from the street.

Please also note the following:

a.) Any new mains installed must be inspected, tested (witnessed by a D.P.I. inspector), and approved for connection, and the respective as-built must be submitted prior to D.P.I. issuing permits

for individual house connections. Installer is responsible for meeting minimum required vertical and horizontal separation for water and sewer mains and services.

b.) The integrity of any previously existing water and/or sewer service being re-utilized must be determined, and said testing witnessed by a D.P.I. inspector, prior to connection. The owner/developer assumes all responsibility of re-utilizing said service(s). Contractor is responsible for meeting minimum required vertical and horizontal separation for water and sewer services.

c.) Recorded easements must exist for any water, sewer and drainage pipes being installed on other parcels to service the subject parcel. Recorded easements should also exist for any water, sewer and drainage pipes traversing the subject parcel to service other properties.

d.) The maximum width allowed for any residential driveway opening is 18'. Any other pre-existing curb cuts along perimeter of property will have to be closed.