



DATE 5-23-2022
Expire date: 5-23-2023

Property Owner	Address	Tel.
James - maia Silva	17 Hill St Apt #3 New Bedford MA	508-283-2700

Assessor's Plot 31
Lot 11, to the sewer and/or storm drain in. S. 25' 15' Pipe. 15' Street
Acoshnet Ave

If applicant other than actual property owner, attach Letter of Authorization from Property Owner.

Tel.

Mailing Address.....38 Pexton St.....

Tel.

Name	Address
John	1234 Main St
Jane	5678 Elm St
Bob	9010 Oak St
Alice	2345 Pine St
Charlie	6789 Birch St
Diana	1011 Cedar St
Frank	4321 Maple St
Grace	8765 Spruce St
Henry	3210 Willow St
Ivy	7654 Ash St
Jack	2109 Hickory St
Karen	6543 Sycamore St
Leo	1098 Dogwood St
Mia	5432 Redwood St
Noah	9876 Juniper St
Olivia	4321 Cypress St
Peter	8765 Fir St
Quinn	3210 Palm St
Rachel	7654 Cedar St
Sam	2109 Birch St
Tina	6543 Oak St
Uma	1098 Pine St
Victor	5432 Elm St
Wendy	9876 Maple St
Xavier	4321 Spruce St
Yara	8765 Willow St
Zoe	3210 Ash St

Address

Type of Pipe Required: Proposed 6" SDR 35 PVC per spec since

- Requires separate connections for sewage and storm drain where applicable. Storm water cannot be discharged to a sanitary sewer.
- All work must be inspected and approved by a D.P.I. inspector before backfilling.
- If this connection is to be part of a private service shared jointly with other building owners, attach copy of Recorded Joint Maintenance Agreement.
- Permits can be issued to Industrial and/or Commercial Applicants only upon receipt and approval by the Commissioner of Public Infrastructure of required plans and supplemental information.

In addition, a City-issued Industrial User Discharge Permit and/or a Sewer Extension/Connection Permit issued by the Commonwealth of Massachusetts D.E.P. shall be required by the City for Industrial Discharge into the sewer system.

Industrial User Discharge Permit No. Date.....

Comm. Mass. Sewer Conn./Ext. Permit No. Date

A Filing and Inspection Fee of \$ 450.00, where applicable, must accompany this application.

Bank# 3005 Check# 712 Date 5-6-22 Receipt# 39099825

Other requirements:.....

Connection made to _____	Part of jointly-shared private line	YES	NO

Storm Drain

YES

Applicant agrees to abide by the above terms, as well as all pertinent ordinances of the City of New Bedford, and such other special rules as the Commissioner of Public Infrastructure and/or City Engineer may deem necessary

Asst. City Engineer

Signature of Property Owner or Representative

INSPECTED BY: _____

DATE: _____

COMMENTS:

APPROVED	DISAPPROVED

SKETCH PLAN

SIGNATURE



Department of Public Infrastructure

Jamie Ponte
Commissioner

Water
Wastewater
Highways
Engineering
Cemeteries
Park Maintenance
Forestry

CITY OF NEW BEDFORD
Jonathan F. Mitchell, Mayor

PERMISSION SLIP

To Whom It May Concern:

I hereby authorize Dennis Costa LLC Construction of
(Applicant Name)

JLC Construction 508-326-9228 at the address of
(Company Name & Telephone Number)

38 Bethel St., New Bedford, MA to act on my behalf including affixing
(Company Address)

my signature in securing permits for Plot 31, Lot 111

93-101 Rivet St.
(Address for permit location)

☒ Sewer/Drain Service Permits
☒ Stormwater Permits
☒ Water Service Permits

Driveway Installation Permits

Sidewalk Installation Permits

TB-

I further agree to conform to, and abide by, All City rules and regulations applicable to the permit (s) being applied for.

Property Owner Information:

Maria Ramos Maria Ramos
Printed Name Signature

17 Hall St. New Bedford MA 02740
Address City State Zip Code
Apt. 3

5/3/22 508-283-6408
Today's Date Telephone Number

Se

MISCELLANEOUS PAYMENT RECPT#: 3909983
City of New Bedford
Office of the Treasurer
133 William Street
New Bedford, MA 01950

DATE: 05/23/14 TIME: 09:07:14
CLERK: a450mm DEPT: WATER
CUSTOMER#: 0

COMMENT:

CHG: DPISER PERMI 450.00

REVENUE:

1 6390600 2165 450.00

Service Fee

PERMI 50.45

CASH:

TACIS

450.00

DEBTS

AMOUNT PAID: 450.00

PAID BY:

MARIA RAMOS-SILVEIRA

PAYMENT METH: CHECK

MR712

REFERENCE:

AMT TENDERED:

450.00

AMT APPLIED:

450.00

CHANGE:

00

111	31	RELEASE OF T.T.	1795 61 048 106	2-2 1975	1785 960 162 37	3-1-1982	RAMOS F.F. 1ST DEATH
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95045
95246



Commonwealth of Massachusetts
City of New Bedford
133 William Street New Bedford, MA 02740
SEWER PERMIT



Date: **8/29/2022**

No. **WW-22-16**

Sewer Connection Fee: **\$450.00**

Pipe Size: **0.00**

Trench Length: **0.00**

Service Location: **NS-31- RIVET ST**

Owner Name: **RAMOS MARIA R**

Type of Occupancy: **Commercial**

Type of Work: **Sewer - New Sewer Service**

Work Description: **Sewer #25045
P.31 L111**

RIVET ST NS 44' E X ACUSHNET AVE

AKA 93-101 RIVET ST

SEWER 15' PIPE ACUSHNET AVE

PROPOSED 6" SDR 35 PVC SEWER SERVICE

No. of Units : **0**

Required Design Daily Flow :

0.00

Provided Daily Flow :

0.00

Installing Company Name: **DEMETRI COSTA**

License Type: **Hoisting Engineer**

Call (781) 942-9077 For Inspection



Commonwealth of Massachusetts

CITY OF NEW BEDFORD

City Hall, Room 308, 133 William Street New Bedford, MA 02740 (508) 979-1540



BUILDING PERMIT

1/12/2022

No. **B-21-2840**

MSBC Sec. 110.14 - Any permit issued shall be deemed abandoned and invalid unless the work authorized by it shall have been commenced within six (6) months after its issuance.

FEE PAID: **\$0.00**

This certifies that Jeffrey Hathaway
owner/contractor has permission to: New Constr./Addition 1-2 Family
on: NS-31-111 RIVET ST

Contractor Lic. # 085988

ParcelID **31-111**

Providing that the person accepting this permit shall in every respect conform to the terms of application therefore on file in this office; to the provisions of the statute of the Commonwealth and to the by-laws of the City of New Bedford relating to the inspection, erection, enlarging, altering, raising, moving, repairing, or tearing down of a building.

Permit is issued subject to the following special requirements: (Restrictions)

CITY DEPARTMENT/COMMISSION COMMENTS

The following department/commission has expressed concern about the issuance of this permit. You are advised to contact that agency and resolve this matter.

Department/Commission: _____

BUILDING DEPARTMENT COMMENTS

Scope of Work

Install new foundation for a raised ranch single family house.

-Work to be performed as per plans submitted. Framing plans dated 9/9/21 and site plan date 1/5/22.

-8"x16" continuous concrete footing with key way & (2) #5 rebar

-8" concrete foundation wall with #5 rebar laid horizontally set 36"OC and #5 rebar set vertically every 36"OC

-2" ridge insulation to be set on the inside of the foundation wall and under concrete slab

-4" concrete slab for the building to sit on top 6 mil vapor barrier & 4" of compacted crushed stone.

780 CMR 110.5 Inspection Requests - It shall be the duty of the holder of the building permit or their duly authorized agent to notify the building official when work is ready for inspection. It shall be the duty of the permit holder to provide access to and means for inspections of such work that are required by 780 CMR. The building official may require the permit holder or his or her representative to attend these inspections.

YOUR AREA INSPECTOR IS: **Matthew Silva**

Tel. (508) 979-1540 Between 8:00am - 9:00am

OCCUPANCY PERMIT REQUIRED BEFORE OCCUPANCY

**NOTICE: NOTIFY INSPECTOR 48 HOURS IN
ADVANCE OF APPLYING SHEAT**

No Building or Structure shall be used or occupied until the Certificate of Use and Occupancy shall have been issued by the Building Commissioner - MSBC, Sect. 120.1

This Card Must Be Displayed in a Conspicuous Place on the Premises and Not Torn Down or Removed Until Completion of Work

SUBJECT TO MASSACHUSETTS
STATE BUILDING CODE

Danny D. Romanowicz

Building Commissioner

Plan Review Comments :

: Any changes, alterations, removal, or installation of any plumbing or gas fixture will require a permit
: ASR-DPI Engrg.

RE: TB-21-2840
Rivet St. (N.S.) 44' E. x Acushnet Ave. (f/k/a 93-101 Rivet St.—Mi Antojo Rest. & Apts.)
Plot 31/Lot 111
Reviewed 11/12/2021

The site plan (dated 9/17/2021) submitted via View Permit was reviewed by DPI. This permit is denied, pending addressing the following comments:

1. Update the "Record Owner" and the "Prepared For" info. to reflect the correct address for the property owner, as the property owner is not at the address stated (structure known as 93-101 Rivet was demolished due to fire).
2. Remove "97 Rivet St." from plan title. This is vacant land, describe as such. If you need to make reference to the address of the former structure, please denote as "f/k/a".
3. Trim southerly lot line to terminate at intersection with westerly lot line.
4. Add label "Full-Width Cement Concrete Sidewalks" to existing sidewalks along Acushnet Ave. and Rivet St.
5. Show existing retaining wall along property line/back of sidewalk. If it is to be removed, label as such, and add note that "Sidewalk Squares Damaged/Undermined as Result of Wall Removal are to be Replaced".
6. Add note that "All existing cement concrete sidewalk squares that are broken/damaged along both the Acushnet Ave. and Rivet St. side are to be replaced".
7. Add note that sidewalk squares/panels adjacent to the curb are to be sawcut along joints and grass ribbon installed along Acushnet Ave. and Rivet St. Based on the measures obtained during DPI's site visit, the grass ribbon along Acushnet Ave. would be 3', the grass ribbon along Rivet St. would be 3'-7". Please contact DPI for more information regarding this matter.
8. Driveway opening along Acushnet Ave. side to be closed. Add label denoting length of curbing to be installed. Add call out to "Install GVC and Match Abutting Proposed Grass Ribbon/Cement Concrete Sidewalks".
9. Label the new 14' cement concrete driveway, which appears is being proposed in the same location as the existing. Add call out that the existing driveway on the Rivet St. side is to be replaced, as it is in dire shape. Also, due to the 2" curb reveal noted during DPI's site visit, the requirement for transition curb/wing areas for the proposed cement concrete driveway opening is waived for this application. Adjust the location/elevation of the highpoints shown on the plan view to be at the property line. Water from the City layout is not to run onto the private property, and vice versa.
10. Traffic flow on Rivet St. tends to be heavy at times. For safety reasons and providing ease of access, the applicant should re-evaluate the proposed 14' driveway opening on Rivet St. and consider widening it. Residential driveways can be a maximum of 18'.
11. Label size/type of all existing water and sewer services and which are being reutilized/abandoned.
12. Add note that the sewer service on Acushnet Ave. not being reutilized is to be properly abandoned (cut/cap at property line) and witnessed by DPI personnel. (Note: There is no record of a demolition permit sign off from this department, nor respective inspection records denoting that DPI personnel witnessed existing water/sewer services were properly abandoned prior to the building being demolished.)
13. Show proposed water service from the new dwelling all the way to the existing curb stop (no couplings allowed). Keep line types consistent, and show proposed in bold and existing in grayscale. Call out that the condition of that portion of existing water service

on Rivet St. that is to be reutilized is to be determined prior to connection. (See "Note" in item 12).

14. Location of existing sewer service on Rivet St. is shown incorrectly (Please refer to DPI sewer/storm drain map or sewer service record). Call out that the condition of that portion of existing sewer service on Rivet St. that is to be reutilized is to be determined prior to connection. (See "Note" in item 12).

15. Label size/type of all existing mains.

16. The size of the existing sewer main on Acushnet Ave. is labeled incorrectly (it is 15").

17. Properly depict existing Bradley head catch basin.

18. Label the size/type of piping being specified by the engineer for the infiltration system on the plan view. Also, please show the point of entry of the proposed subsurface roof recharge unit located at the southeast corner of the parcel into the house (it appears to have been left "floating").

Please submit the revised plan to Inspectional Services to be uploaded into the View Permit system for final review/approval by DPI, and for other City departments to review/determine if said revisions affect them.

: ASR-DPI Engrg.

RE: TB-21-2840

Rivet St. (N.S.) 44' E. x Acushnet Ave. (f/k/a 93-101 Rivet St.—Mi Antojo Rest. & Apts.)

Proposed Single Family Dwelling w/Attached Garage

Plot 31/Lot 111

Reviewed 12/21/2021

PLEASE NOTE:

It is the responsibility of the applicant and the contractors to be familiar with DPI procedures/regulations and ascertain that all proposed work which falls under DPI jurisdiction, whether shown on the submitted site plan or not, is identified and executed in accordance with City of New Bedford DPI Construction Standards/Specifications. The Certificate of Occupancy (CO) will not be signed for any work performed that is non-compliant and/or if any of the following conditions are not met.

The following conditions are to be met by the applicant (being the owner and/or their representative) as part of this permit approval:

1. The site plan submitted in View Permit, titled: "Site Plan, F.K.A. 97 Rivet Street, Assessors Map 31 Lot 111, New Bedford, Massachusetts", having a date of 9/17/2021 (last revised 12/14/2021), as prepared by Farland Corp. and stamped/signed by Christian A. Farland, P.E. (Civil), has been conditionally approved, pending the engineer reaching out to DPI to discuss multiple revisions remaining to be made; and the "final" site plan submitted for DPI review/approval before the applicant can apply for DPI permits. The applicant is responsible for ensuring that Inspectional Services is provided with the "final" site plan to be placed on file in the View Permit system.
2. Must provide one stamped/signed copy of the "final" site plan approved by DPI for each of the four permits being sought (i.e., water, sewer, storm water, and sidewalk/driveway permits) for the new structure. In addition, a copy of the foundation permit and of the stamped/signed foundation as-built plan must also be submitted.
Please Note: Any representative pulling permits on behalf of the owner must provide DPI with a permission slip. If the property was acquired within the past 6 months, then a copy of the recorded deed showing property ownership must also be provided.
3. Must contact DPI-Engineering to measure for an address number once the front door is framed. The CO will not be signed unless the legal address issued by the City is permanently affixed to, above, or next to, the main door entrance to which it was assigned such that it is highly visible from the street. Please plan accordingly, as this process will take 5-7 business days to complete.
4. Compliance with the City of New Bedford Stormwater Rules & Regulations/Ordinances is required for all project sites, regardless of size. All sites must implement sediment and erosion control measures and will be subject to the required construction site and sediment control inspections.

Please be advised that any modifications to the site plan that was reviewed/approved by DPI for the above project and placed on file as the "final" site plan for permitting must be resubmitted for review/approval.

: NOTE: FOUNDATION,, WILL NEED ELECTRICIAN AND ELECTRICAL PERMIT ATTACHED TO THIS NEW FOUNDATION AS WELL AS A UFER GROUND TO BE INSTALLED TO THE REBAR OF THE FOUNDATION AND THE END LEFT AT THE ELECTRICAL SERVICE LOCATION TO BE USED FOR BONDING / GROUNDING PURPOSES LATER.

: Must follow all of DPI recommendations

: 780 CMR 110.5 Inspection Requests - It shall be the duty of the holder of the building permit or their duly authorized agent to notify the building official when work is ready for inspection. It shall be the duty of the permit holder to provide access to and means for inspections of such work that are required by 780 CMR. The building official may require the permit holder or his or her representative to attend these inspections.

: Scope of Work

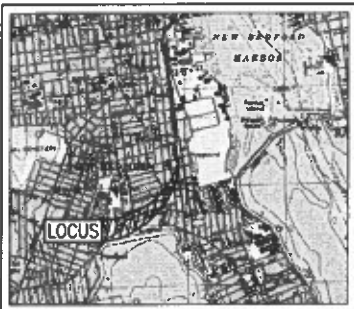
Install new foundation for a raised ranch single family house.

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: Sewer & water permits must be applied for with DPI before the building permit is issued. As built for the new foundation must be submitted to Inspectional Services before building permit is issued.

: Fire damaged the mixed use commercial /residential building resulting in a demolition of the building . This lot is grandfathered at the present time



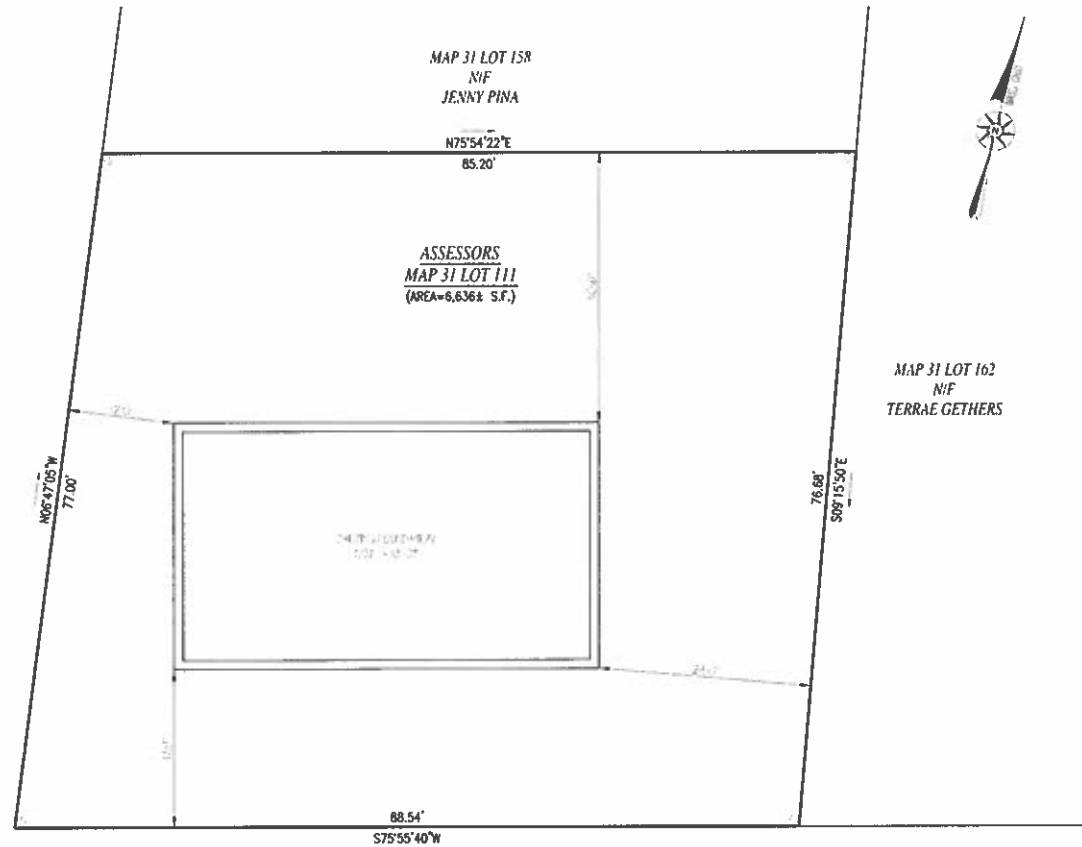
LOCUS MAP SCALE: 1"=2,000'±

— ZONING DATA —

DISTRICT: MIXED USE BUSINESS (MUB)

DESCRIPTION	REQUIRED
FRONT SETBACK	0 FT
SIDE SETBACK	10 FT
REAR SETBACK	10 FT

ACUSHNET
~PUBLIC - 40' WIDE~
AVENUE



BENCHMARK
NAIL IN UTILITY POLE
ELEV = 12.17 (NAVD 88)

RIVET ~PUBLIC - 40' WIDE~ STREET

RECORD OWNER:
ASSESSORS MAP 31 LOT 111
MARIA R. RAMOS
97 RIVET STREET
NEW BEDFORD, MA 02744
DEED BOOK 1755 PAGE 960

- NOTES:
- AS-BUILT SURVEY WAS PERFORMED BY FARLAND CORP. IN MARCH OF 2022.
 - VERTICAL ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).



REVISIONS



www.FarlandCorp.com

21 VENTURA DRIVE
DARTMOUTH, MA 02747
P. 508.717.3479
• ENGINEERING
• SITEWORK
• LAND SURVEYING
• DEVELOPMENT

DRAWN BY: AJT
DESIGNED BY: CAF
CHECKED BY: BUM

FOUNDATION AS-BUILT
— F.K.A. 97 RIVET STREET —
ASSESSORS MAP 31 LOT 111
NEW BEDFORD, MASSACHUSETTS

PREPARED FOR:
MARIA R. RAMOS
F.K.A. 97 RIVET STREET
NEW BEDFORD, MA 02744

MARCH 29, 2022
SCALE: 1"=10'
JOB NO. 21-233
LATEST REVISION: