



PERMIT NO.
25034

CITY OF NEW BEDFORD
SEWER AND/OR STORM DRAIN PERMIT

DATE 3-22-22
Expire date: 3-22-23

This certifies that permission is granted to

Property Owner Eddie Lopez Address 71 State Rd, Duxbury, MA Tel. 508-441-8400

To connect a sewer and/or storm drain located at afairland circle (US) 5x Philadelphia Rd (AKA Building Lot 17)
Assessor's Plot 130D Lot 464, to the sewer and/or storm drain in 2017 contained on property Street

To be laid in accordance with the conditions in this application and the City of New Bedford ordinances.
TYPE OF USE: RESIDENTIAL COMMERCIAL INDUSTRIAL FLOW G.P.D.

If applicant other than actual property owner, attach Letter of Authorization from Property Owner.

Name: _____ Tel: _____
Mailing Address: _____
The Bonded Contractor/Drain Layer authorized to perform this work is:
Jules LLC Address 139 Highland Rd, Acushnet, MA Tel. 508-264-2978
Name _____ Address _____ Tel. _____
Type of Pipe Required: 2.0g x48" Culture Recharge 330 XL HD Standard Class
Suction

PERMIT EXPIRES ONE YEAR AFTER DATE OF ISSUE

- Requires separate connections for sewage and storm drain where applicable. Storm water cannot be discharged to a sanitary sewer.
 - All work must be inspected and approved by a D.P.I. inspector before backfilling.
 - If this connection is to be part of a private service shared jointly with other building owners, attach copy of Recorded Joint Maintenance Agreement.
 - Permits can be issued to Industrial and/or Commercial Applicants only upon receipt and approval by the Commissioner of Public Infrastructure of required plans and supplemental information.
 - In addition, a City-issued Industrial User Discharge Permit and/or a Sewer Extension/Connection Permit issued by the Commonwealth of Massachusetts D.E.P. shall be required by the City for Industrial Discharge into the sewer system.
- Industrial User Discharge Permit No. _____ Date: _____

Comm. Mass. Sewer Conn./Ext. Permit No. _____ Date: _____
A Filing and Inspection Fee of \$ 300, plus an Entrance Fee of \$ _____ where applicable, must accompany this application.

Bank# Bank Five Check# 564 Date 3/22/2022 Receipt# 3810005

Other requirements: _____

Connection made to _____ Sewer _____ Part of jointly-shared private line YES ☒ NO ☐
Storm Drain

Applicant agrees to abide by the above terms, as well as all pertinent ordinances of the City of New Bedford, and such other special rules as the Commissioner of Public Infrastructure and/or City Engineer may deem necessary

Asst. City Engineer

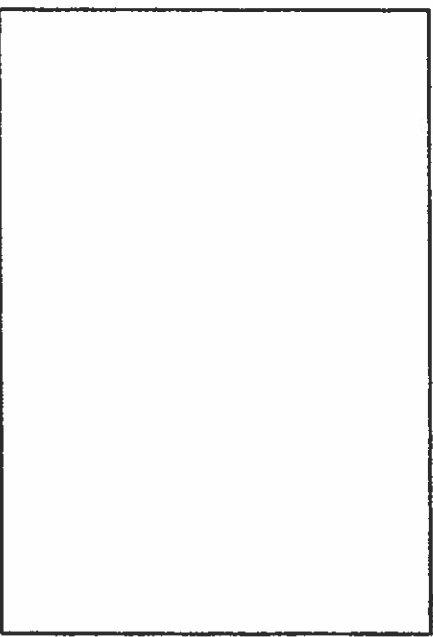
Signature of Property Owner or Representative

INSPECTOR'S REPORT

INSPECTED BY: _____

DATE: _____

COMMENTS: _____



APPROVED _____ DISAPPROVED _____

SKETCH PLAN

SIGNATURE _____

MISCELLANEOUS PAYMENT RECPT#: 3610005
City of New Bedford
Office of the Treasurer
133 William Street
New Bedford, MA 02743

DATE: 03/22/22 TIME: 13:08:37
CLERK: a450mmb DEPT: WATER
CUSTOMER#: 0

COMMENT:

CHG: DPISFW DWT SEWER PERMI 300.00

REVENUE:

1 63906000 422185	300.00
Sewer Permit Fee	
STORM PERMIT 25034	
CASH:	
TW05 101009	300.00
WEB5537	

AMOUNT PAID: 300.00

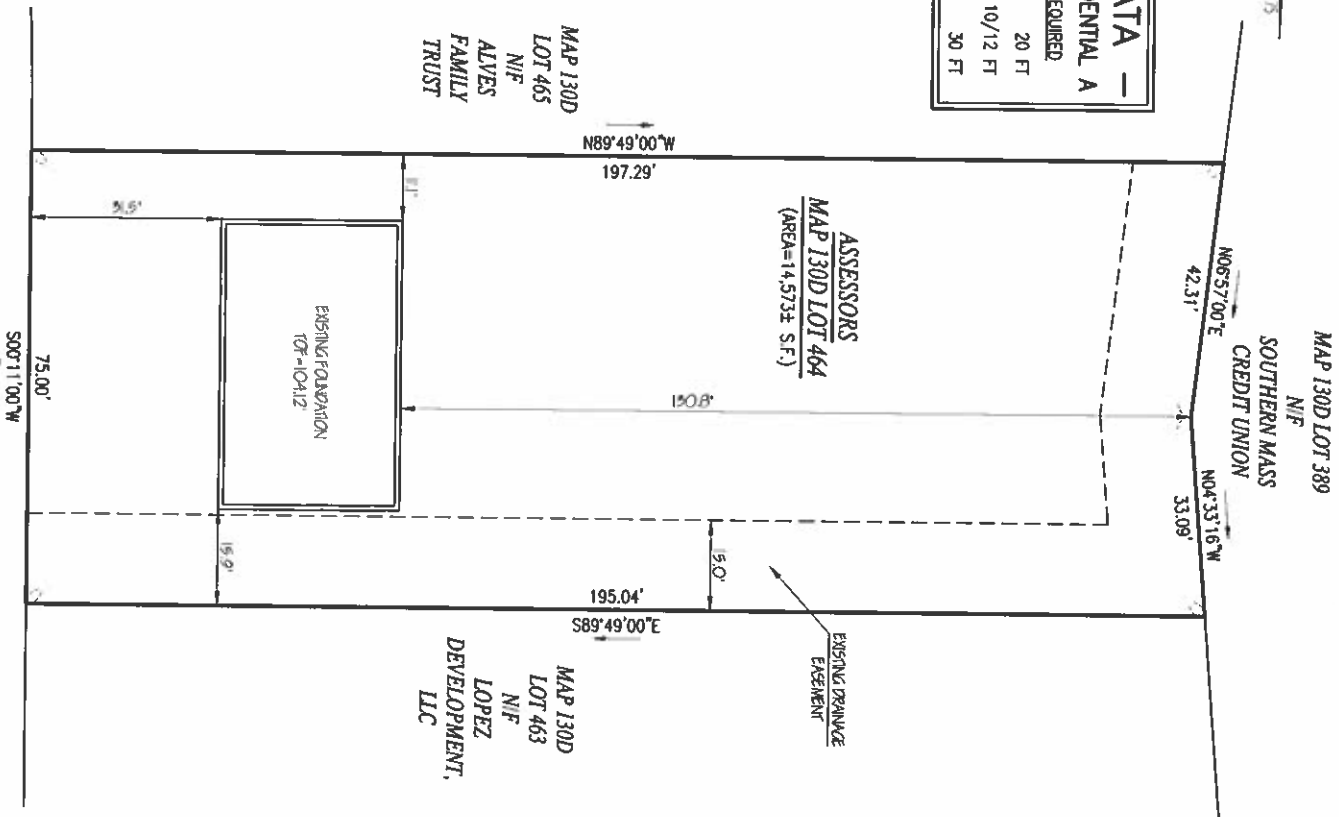
PAID BY: BIG THREE LLC
PAYMENT METH: CHECK
MR564

REFERENCE:

AMT TENDERED: 300.00
AMT APPLIED: 300.00
CHANGE: .00

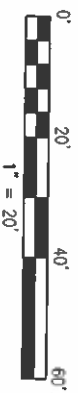


- ZONING DATA -	
DISTRICT: RA - RESIDENTIAL A	
DESCRIPTION	REQUIRED
FRONT SETBACK	20 FT
SIDE SETBACK	10/12 FT
REAR SETBACK	30 FT



FARLAND ~PRIVATE - 50' WIDE~ CIRCLE

NOTE:
THIS FOUNDATION AS-BUILT SURVEY WAS PERFORMED BY FARLAND CORP. IN MARCH OF 2022.
COPYRIGHT © 2022 FARLAND CORP. ALL RIGHTS RESERVED.
NO PART OF THIS DOCUMENT MAY BE REPRODUCED, STORED IN A RETRIEVAL SYSTEM, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC, MECHANICAL, PHOTOCOPYING, RECORDING, OR OTHERWISE, WITHOUT THE EXPRESS WRITTEN CONSENT OF FARLAND CORP.
ANY REPRODUCTION OF THIS DOCUMENT WITHOUT THE WRITTEN CONSENT OF FARLAND CORP. SHALL BE PROHIBITED AND SUBJECT TO PROSECUTION.



FOUNDATION AS-BUILT PLAN

FARLAND CIRCLE
ASSESSORS MAP 130D LOT 464
NEW BEDFORD, MASSACHUSETTS



www.FarlandCorp.com
21 VENTURA DRIVE
DARTMOUTH, MA 02747
P. 508.717.3479
• ENGINEERING
• SITEWORK
• LAND SURVEYING
• DEVELOPMENT

PREPARED FOR:
LOPEZ DEVELOPMENT
129 HUTTLESTON
AVENUE
FAIRHAVEN, MA
02719



SCALE: 1"=20'
MARCH 18, 2022
DRAWN BY: AJT
JOB NO: 19-744.17

ASR-DPI Engrg.

RE: TB-21-3185

Farland Circle (W.S.) S. x Phillips Rd. (a/k/a Builder's Lot 17)

Plot 130D Lot 464

Reviewed 12/20/2021

PLEASE NOTE:

It is the responsibility of the applicant and the contractors to be familiar with DPI procedures/ regulations and ascertain that all proposed work which falls under DPI jurisdiction, whether shown on the submitted site plan or not, is identified and executed in accordance with City of New Bedford DPI Construction Standards/Specifications. The Certificate of Occupancy (CO) will not be signed for any work performed that is non-compliant and/or if any of the following conditions are not met.

The following conditions are to be met by the applicant (being the owner and/or their representative) as part of this permit approval:

1. The site plan submitted in View Permit, titled: "Site Plan, Farland Circle, Assessors Map 130D Lot 464, New Bedford, Massachusetts", having a date of 6/25/2020 (last revised 12/1/2021), as prepared by Farland Corp. and stamped/signed by Christian A. Farland, P.E. (Civil), has been conditionally approved, pending that the following minor revisions are made to the "final" site plan before applying for DPI permits:
 - a. Change/re-label the water gate depicted (should be a curb stop that was installed);
 - b. Label the size/type of piping going to the infiltration system on the plan view (should not just be on the cross section/detail); and
 - c. Update the owner for abutting lot 463 (should be Big Three LLC).

The applicant is responsible for ensuring that Inspectional Services is provided with the "final" site plan to be placed on file in the View Permit system.

2. Must provide one stamped/signed copy of the "final" site plan approved by DPI for each of the four permits being sought (i.e., water, sewer, storm water, and sidewalk/driveway permits) for the new structure. In addition, a copy of the foundation permit and of the stamped/signed foundation as-built plan must also be submitted.

Please Note: Any representative pulling permits on behalf of the owner must provide DPI with a permission slip. If the property was acquired within the past 6 months, then a copy of the recorded deed showing property ownership must also be provided.

TT - FY22
CITY OF NEW BEDFORD
MASSACHUSETTS
TREASURER'S OFFICE



\$ 2815.29

Date 3/21/22

RECEIVED OF

130-D-464 w/ Farland

Two thousand eight hundred dollars, for

fuel = 290.00

PAID

Big Three LLC

CK # 502

MAR 21 2022

K. R. F.

City Treasurer

CITY OF NEW BEDFORD

By



Commonwealth of Massachusetts

CITY OF NEW BEDFORD

City Hall, Room 308, 133 William Street New Bedford, MA 02740 (508) 979-1540



FOUNDATION PERMIT

No. B-21-3185

2/21/2022

MSBC Sect. 111.8 - Any permit issued shall be deemed abandoned and invalid unless the work authorized by it shall have been commenced within six (6) months after its issuance.

FEE PAID \$100.00

This certifies that Eddie Lopez

owner/contractor has permission to:

WS-

FARLAND CRC

on:

130D
-464

Foundations Only 1-2 Family - 100.00

Providing that the person accepting this permit shall in every respect conform to the terms of application therefore on file in this office; to the provisions of the statute of the Commonwealth and to the by-laws of the City of New Bedford relating to the inspection, erection, enlarging, altering, raising, moving, repairing, or tearing down of a building.

Permit is issued subject to the following special requirements: (Restrictions)



Wiring Inspector



Plumbing Inspector



Building Inspector

YOUR AREA INSPECTOR IS: Thomas Welch

Tel. (508) 979-1540 Between 8:00am - 9:00am

NOTICE: NOTIFY INSPECTOR 48 HOURS IN
ADVANCE OF APPLYING SHEATHING OR LATHING

OCCUPANCY PERMIT REQUIRED BEFORE OCCUPANCY

No Building or Structure shall be used or occupied until the Certificate of Use and Occupancy shall have been issued by the Building Commissioner - MSBC, Sect. 120.1

This Card Must Be Displayed in a Conspicuous Place on the Premises and Not Torn Down or Removed Until Completion of Work

SUBJECT TO MASSACHUSETTS
STATE BUILDING CODE

Donny O. O'Malley

Plan Review Comments:

1. Sewer service to be 10 ft away from water service.
2. Water service to be perpendicular (90 degrees) from main to inside building.
3. Water curb stop (shut -off) to be 1.5ft from face of curb/pavement.
4. Install water meter at point of entry to building
5. Owner to apply for water and sewer permits.

ASR-DPI Engrg.

RE: TB-21-3185

Farland Circle (W.S.) S. x Phillips Rd. (a/k/a Builder's Lot 17)
Plot 130D Lot 464
Reviewed 11/15/2021

The site plan submitted in View Permit (dated 6/25/2020, last revised 10/6/2021) was reviewed by DPI and was denied due to a portion of the proposed structure's footprint being depicted within the utility easement area. Permanent structures cannot be built within an easement area. Please see email sent to Inspectional Services back at the end of October of 2020 in regards to this site, a copy of which has been uploaded to View Permit by DPI.

ASR-DPI Engrg.

RE: TB-21-3185

Farland Circle (W.S.) S. x Phillips Rd. (a/k/a Builder's Lot 17)
Plot 130D Lot 464
Reviewed 12/20/2021

PLEASE NOTE:

It is the responsibility of the applicant and the contractors to be familiar with DPI procedures/ regulations and ascertain that all proposed work which falls under DPI jurisdiction, whether shown on the submitted site plan or not, is identified and executed in accordance with City of New Bedford DPI Construction Standards/Specifications. The Certificate of Occupancy (CO) will not be signed for any work performed that is non-compliant and/or if any of the following conditions are not met.

The following conditions are to be met by the applicant (being the owner and/or their representative) as part of this permit approval:

1. The site plan submitted in View Permit, titled: "Site Plan, Farland Circle, Assessors Map 130D Lot 464, New Bedford, Massachusetts", having a date of 6/25/2020 (last revised 12/1/2021), as prepared by Farland Corp. and stamped/signed by Christian A. Farland, P.E. (Civil), has been conditionally approved, pending that the following minor revisions are made to the "final" site plan before applying for DPI permits:

- a. Change/re-label the water gate depicted (should be a curb stop that was installed);
- b. Label the size/type of piping going to the infiltration system on the plan view (should not just be on the cross section/detail); and
- c. Update the owner for abutting lot 463 (should be Big Three LLC).

The applicant is responsible for ensuring that Inspectional Services is provided with the "final" site plan to be placed on file in the View Permit system.

2. Must provide one stamped/signed copy of the "final" site plan approved by DPI for each of the four permits being sought (i.e., water, sewer, storm water, and sidewalk/driveway permits) for the new structure. In addition, a copy of the foundation permit and of the stamped/signed foundation as-built plan must also be submitted.

Please Note: Any representative pulling permits on behalf of the owner must provide DPI with a permission slip. If the property was

acquired within the past 6 months, then a copy of the recorded deed showing property ownership must also be provided.

3. The site plan submitted indicates that there may be a sump pump tie-in at this location. The recharge system calculations must incorporate sump pump discharge, and the conditions stipulated by the City Engineer regarding sump pump installations will apply, as follows:

- a. The sump pump tie in will require a letter stamped and signed by a registered professional engineer in the Commonwealth of Massachusetts along with the supporting calculations and plans stamped and signed by the same engineer documenting the design and standards. These documents are needed before DPI signs off on the CO.
- b. A concrete lip should be constructed around the sump pump and pit (6-in high) so that if there is a spill in the basement, it cannot flow into the pit and be pumped to the infiltrator unit thereby contaminated the groundwater and site. This needs to be inspected and signed off by our inspector prior to signing of the CO.
- c. A release of liability form will need to be signed by the homeowner documenting that if he/she is identified as dumping pollutants into the pit and causes contamination of the site they are the responsible party for all cleanup and the City is not responsible. This is not needed by the CO but will be needed 30 days following execution of any property ownership documents.

4. Must contact DPI-Engineering to measure for an address number once the front door is framed. The CO will not be signed unless the legal address issued by the City is permanently affixed to, above, or next to, the main door entrance to which it was assigned such that it is highly visible from the street. Please plan accordingly, as this process will take 5-7 business days to complete.

5. The parcel must be developed in accordance with the conditions set forth in the approved Subdivision Plans.

6. Compliance with the City of New Bedford Stormwater Rules & Regulations/Ordinances is required for all project sites, regardless of size. All sites must implement sediment and erosion control measures and will be subject to the required construction site and sediment control inspections.

Please be advised that any modifications to the site plan that was reviewed/approved by DPI for the above project and placed on file as the "final" site plan for permitting must be resubmitted for review/approval.

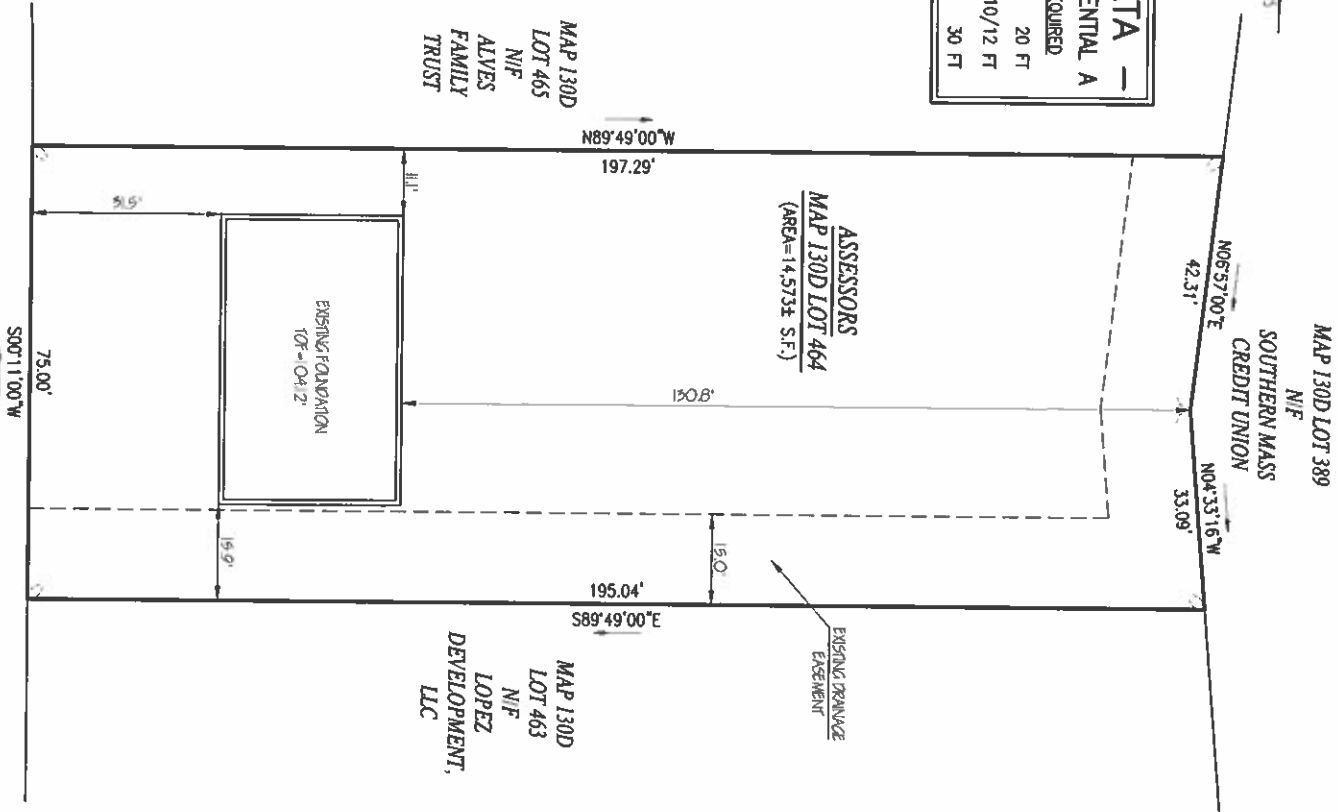
Construct a 48' x 30' foundation as per plans submitted

Farland Estates - Lot 17

Plot 130 D Lot 464



- ZONING DATA -	
DISTRICT: RA - RESIDENTIAL A	
DESCRIPTION	REQUIRED
FRONT SETBACK	20 FT
SIDE SETBACK	10/12 FT
REAR SETBACK	30 FT



FARLAND ~PRIVATE - 50' WIDE~ CIRCLE

NOTE:
THIS FOUNDATION AS-BUILT SURVEY WAS PERFORMED BY FARLAND CORP. IN MARCH OF 2022.
COPYRIGHT © 2022 FARLAND CORP. ALL RIGHTS RESERVED.
NO PART OF THIS DOCUMENT MAY BE REPRODUCED, STORED IN A RETRIEVAL SYSTEM, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC,
MECHANICAL, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT PERMISSION IN WRITING FROM FARLAND CORP.
ANY VIOLATIONS MAY TO THE DOCUMENT UNDER THE APPLICABLE STATE AND FEDERAL LAWS.



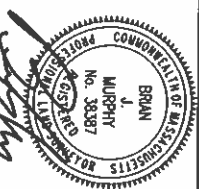
FOUNDATION AS-BUILT PLAN

FARLAND CIRCLE
ASSESSORS MAP 130D LOT 464
NEW BEDFORD, MASSACHUSETTS



www.FarlandCorp.com
21 VENTURA DRIVE
DARTMOUTH, MA 02747
P.508.717.3479
• ENGINEERING
• SITEWORK
• LAND SURVEYING
• DEVELOPMENT

PREPARED FOR:
LOPEZ DEVELOPMENT
129 HUTTLESTON
AVENUE
FAIRHAVEN, MA
02719



SCALE: 1"=20'
MARCH 18, 2022
DRAWN BY: AJT
JOB NO: 19-744.17

ASR-DPI Eng'g.

RE: TB-21-3185

Farland Circle (W.S.) S. x Phillips Rd. (a/k/a Builder's Lot 17)

Plot 130D Lot 464

Reviewed 12/20/2021

PLEASE NOTE:

It is the responsibility of the applicant and the contractors to be familiar with DPI procedures/ regulations and ascertain that all proposed work which falls under DPI jurisdiction, whether shown on the submitted site plan or not, is identified and executed in accordance with City of New Bedford DPI Construction Standards/Specifications. The Certificate of Occupancy (CO) will not be signed for any work performed that is non-compliant and/or if any of the following conditions are not met.

The following conditions are to be met by the applicant (being the owner and/or their representative) as part of this permit approval:

1. The site plan submitted in View Permit, titled: "Site Plan, Farland Circle, Assessors Map 130D Lot 464, New Bedford, Massachusetts", having a date of 6/25/2020 (last revised 12/1/2021), as prepared by Farland Corp. and stamped/signed by Christian A. Farland, P.E. (Civil), has been conditionally approved, pending that the following minor revisions are made to the "final" site plan before applying for DPI permits:
 - a. Change/re-label the water gate depicted (should be a curb stop that was installed);
 - b. Label the size/type of piping going to the infiltration system on the plan view (should not just be on the cross section/detail); and
 - c. Update the owner for abutting lot 463 (should be Big Three LLC).

The applicant is responsible for ensuring that Inspectional Services is provided with the "final" site plan to be placed on file in the View Permit system.

2. Must provide one stamped/signed copy of the "final" site plan approved by DPI for each of the four permits being sought (i.e., water, sewer, storm water, and sidewalk/driveway permits) for the new structure. In addition, a copy of the foundation permit and of the stamped/signed foundation as-built plan must also be submitted.

Please Note: Any representative pulling permits on behalf of the owner must provide DPI with a permission slip. If the property was acquired within the past 6 months, then a copy of the recorded deed showing property ownership must also be provided.

TT - FY22
CITY OF NEW BEDFORD
MASSACHUSETTS
TREASURER'S OFFICE



\$ 2815.29 Date 3/21/22

RECEIVED OF 130-D-464 vs Farland
Two 4pm sand light murder dollars, for

fine is - 290.00
Big Three LLC
CK# 502 **MAR 21 2022** R.K.F.

City Treasurer

CITY OF NEW BEDFORD

By _____



Commonwealth of Massachusetts

CITY OF NEW BEDFORD

City Hall, Room 308, 133 William Street New Bedford, MA 02740 (508) 979-1540



FOUNDATION PERMIT

2/21/2022

No. **B-21-3185**

MSBC Sect. 111 B - Any permit issued shall be deemed abandoned and invalid unless the work authorized by it shall have been commenced within six (6) months after its issuance.

FEE PAID \$100.00

This certifies that **Eddie Lopez**

owner/contractor has permission to:

WS-

FARLAND CRC

on:

**130D
-464**

Foundations Only 1-2 Family - 100.00

Providing that the person accepting this permit shall in every respect conform to the terms of application therefore on file in this office; to the provisions of the statute of the Commonwealth and to the by-laws of the City of New Bedford relating to the inspection, erection, enlarging, altering, raising, moving, repairing, or tearing down of a building.

Permit is issued subject to the following special requirements: (Restrictions)



Wiring Inspector



Plumbing Inspector



Building Inspector

YOUR AREA INSPECTOR IS: **Thomas Welch**

Tel. (508) 979-1540 Between 8:00am - 9:00am

**NOTICE: NOTIFY INSPECTOR 48 HOURS IN
ADVANCE OF APPLYING SHEATHING OR LATHING**

OCCUPANCY PERMIT REQUIRED BEFORE OCCUPANCY

No Building or Structure shall be used or occupied until the Certificate of Use and Occupancy shall have been issued by the Building Commissioner - MSBC, Sect. 120.1

This Card Must Be Displayed in a Conspicuous Place on the Premises and Not Torn Down or Removed Until Completion of Work

SUBJECT TO MASSACHUSETTS
STATE BUILDING CODE

David J. [Signature]

Plan Review Comments:

1. Sewer service to be 10 ft away from water service.
2. Water service to be perpendicular (90 degrees) from main to inside building.
3. Water curb stop (shut -off) to be 1.5ft from face of curb/pavement.
4. Install water meter at point of entry to building
5. Owner to apply for water and sewer permits.

: ASR-DPI Engrg.

RE: TB-21-3185

Farland Circle (W.S.) S. x Phillips Rd. (a/k/a Builder's Lot 17)

Plot 130D Lot 464

Reviewed 11/15/2021

The site plan submitted in View Permit (dated 6/25/2020, last revised 10/6/2021) was reviewed by DPI and was denied due to a portion of the proposed structure's footprint being depicted within the utility easement area. Permanent structures cannot be built within an easement area. Please see email sent to Inspectional Services back at the end of October of 2020 in regards to this site, a copy of which has been uploaded to View Permit by DPI.

: ASR-DPI Engrg.

RE: TB-21-3185

Farland Circle (W.S.) S. x Phillips Rd. (a/k/a Builder's Lot 17)

Plot 130D Lot 464

Reviewed 12/20/2021

PLEASE NOTE:

It is the responsibility of the applicant and the contractors to be familiar with DPI procedures/regulations and ascertain that all proposed work which falls under DPI jurisdiction, whether shown on the submitted site plan or not, is identified and executed in accordance with City of New Bedford DPI Construction Standards/Specifications. The Certificate of Occupancy (CO) will not be signed for any work performed that is non-compliant and/or if any of the following conditions are not met.

The following conditions are to be met by the applicant (being the owner and/or their representative) as part of this permit approval:

1. The site plan submitted in View Permit, titled: "Site Plan, Farland Circle, Assessors Map 130D Lot 464, New Bedford, Massachusetts", having a date of 6/25/2020 (last revised 12/1/2021), as prepared by Farland Corp. and stamped/signed by Christian A. Farland, P.E. (Civil), has been conditionally approved, pending that the following minor revisions are made to the "final" site plan before applying for DPI permits:

- a. Change/re-label the water gate depicted (should be a curb stop that was installed);
- b. Label the size/type of piping going to the infiltration system on the plan view (should not just be on the cross section/detail); and
- c. Update the owner for abutting lot 463 (should be Big Three LLC).

The applicant is responsible for ensuring that Inspectional Services is provided with the "final" site plan to be placed on file in the View Permit system.

2. Must provide one stamped/signed copy of the "final" site plan approved by DPI for each of the four permits being sought (i.e., water, sewer, storm water, and sidewalk/driveway permits) for the new structure. In addition, a copy of the foundation permit and of the stamped/signed foundation as-built plan must also be submitted.

Please Note: Any representative pulling permits on behalf of the owner must provide DPI with a permission slip. If the property was

acquired within the past 6 months, then a copy of the recorded deed showing property ownership must also be provided.

3. The site plan submitted indicates that there may be a sump pump tie-in at this location. The recharge system calculations must incorporate sump pump discharge, and the conditions stipulated by the City Engineer regarding sump pump installations will apply, as follows:

- a. The sump pump tie in will require a letter stamped and signed by a registered professional engineer in the Commonwealth of Massachusetts along with the supporting calculations and plans stamped and signed by the same engineer documenting the design and standards. These documents are needed before DPI signs off on the CO.
- b. A concrete lip should be constructed around the sump pump and pit (6-in high) so that if there is a spill in the basement, it cannot flow into the pit and be pumped to the infiltrator unit thereby contaminated the groundwater and site. This needs to be inspected and signed off by our inspector prior to signing of the CO.
- c. A release of liability form will need to be signed by the homeowner documenting that if he/she is identified as dumping pollutants into the pit and causes contamination of the site they are the responsible party for all cleanup and the City is not responsible. This is not needed by the CO but will be needed 30 days following execution of any property ownership documents.

4. Must contact DPI-Engineering to measure for an address number once the front door is framed. The CO will not be signed unless the legal address issued by the City is permanently affixed to, above, or next to, the main door entrance to which it was assigned such that it is highly visible from the street. Please plan accordingly, as this process will take 5-7 business days to complete.

5. The parcel must be developed in accordance with the conditions set forth in the approved Subdivision Plans.

6. Compliance with the City of New Bedford Stormwater Rules & Regulations/Ordinances is required for all project sites, regardless of size. All sites must implement sediment and erosion control measures and will be subject to the required construction site and sediment control inspections.

Please be advised that any modifications to the site plan that was reviewed/approved by DPI for the above project and placed on file as the "final" site plan for permitting must be resubmitted for review/approval.

: Construct a 48' x 30' foundation as per plans submitted

Farland Estates - Lot 17

Plot 130 D Lot 464