



PERMIT NO.
25024

CITY OF NEW BEDFORD
SEWER AND/OR STORM DRAIN PERMIT

DATE 2-11-2022
Expire date 2-11-2023

This certifies that permission is granted to

Property Owner Ronald Oliveira Address 5 Cooper's Way, Acushnet MA, 02743 Tel. (508) 733-5931

To connect a sewer and/or storm drain located at King's St + (S.S.) 300' W x W. Wildwood Rd.

Assessor's Plot 130B, Lot 455 to the sewer and/or storm drain in 10 inch sewer line on King's St - 2A send to -

To be laid in accordance with the conditions in this application and the City of New Bedford ordinances.
TYPE OF USE: RESIDENTIAL COMMERCIAL INDUSTRIAL FLOW _____ G.P.D.

If applicant other than actual property owner, attach Letter of Authorization from Property Owner.

Name _____ Tel. _____
Mailing Address WPA _____
The Bonded Contractor/Drain Layer authorized to perform this work is:

Name PRO CONTRACT Address _____ Tel. _____
Type of Pipe Required: 16" SDR 35 PVC

PERMIT EXPIRES ONE YEAR AFTER DATE OF ISSUE

- Requires separate connections for sewage and storm drain where applicable. Storm water cannot be discharged to a sanitary sewer.
 - All work must be inspected and approved by a D.P.L. inspector before backfilling.
 - If this connection is to be part of a private service shared jointly with other building owners, attach copy of Recorded Joint Maintenance Agreement.
 - Permits can be issued to Industrial and/or Commercial Applicants only upon receipt and approval by the Commissioner of Public Infrastructure of required plans and supplemental information.
 - In addition, a City-issued Industrial User Discharge Permit and/or a Sewer Extension/Connection Permit issued by the Commonwealth of Massachusetts D.E.P. shall be required by the City for Industrial Discharge into the sewer system.
- Industrial User Discharge Permit No. _____ Date: _____

Comm. Mass. Sewer Conn./Ext. Permit No. _____ Date: _____
A Filing and Inspection Fee of \$ 150.00 plus an Entrance Fee of \$ _____ where applicable, must accompany this application.

Bank# Madencio Bank Check# 115 Date 2-11-22 Receipt# 37510228
Other requirements: SPAM # 25025 Water # 34153

Connection made to Sewer Part of jointly-shared private line YES (NO)
Storm Drain

Applicant agrees to abide by the above terms, as well as all pertinent ordinances of the City of New Bedford, and such other special rules as the Commissioner of Public Infrastructure and/or City Engineer may deem necessary

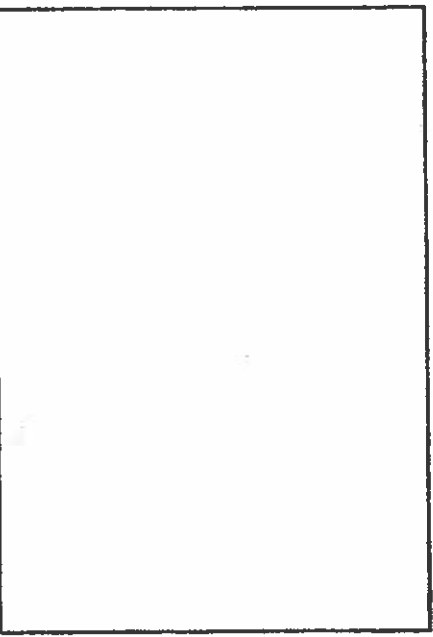
Ronald Oliveira
Asst. City Engineer
Signature of Property Owner or Representative

INSPECTOR'S REPORT

INSPECTED BY: _____

DATE: _____

COMMENTS: _____



APPROVED _____ DISAPPROVED _____

SKETCH PLAN

SIGNATURE _____

KING-CROFT STREET

(PRIVATE)

N 71°09'12" E

100.00'

22.0'

20.0'

N 18°50'48" W

80.01'

15.0'

EXISTING
FOUNDATION
T.O.F. = 112.95

46.9'

80.01'

S 18°50'48" E

N/F
EXIST.
SHED

31.9'

ASSESS. MAP 130B,
LOT 455

AREA = 8,001 Sq. Ft ±
0.18 Ac ±

100.00'

S 71°09'12" W

30.00'

RET. WALL

N 18°50'48" W

80.01'

S 18°50'48" E

30.00'

S 71°09'12" W

100.00'

IP

80.01'

S 18°50'48" E

ASSESS. MAP 130B,
LOT 485
N/F
DUGAL FAMILY TRUST
#1141 JOYCE

EXIST.
HUT

EXISTING
DWELLING
(# 1141)

ASSESS. MAP 130B,
LOT 480
N/F
HOWARD A. JR &
PAULA A. LAGESSE
#1133 JOYCE

EXISTING
DWELLING
(#1133)

FOUNDATION SURVEY AND LOT LINES AS PREPARED BY ZENITH
LAND SURVEY AND SUPPLIED TO THIS OFFICE FOR THE ASBUILT
PLAN. REFER TO PLAN BOOK 183, PAGE 54.



Leon C. Halle 7/4/22

STAMP

LEON C. HALLE, R.L.S.

DATE

FOUNDATION AS-BUILT PLAN

RON OLIVEIRA
KING-CROFT ST

ASSESSORS MAP 130B, LOT 455
NEW BEDFORD, MA

Alpha Engineering
32 Valerie Street
New Bedford, MA 02740
Tel. (508) 997-9976

DATE: 2-3-2022

LOCATED BY: ZLS

SCALE: 1" = 20'

CHECKED BY: LCH

DRAWN BY: KJS

JOB No: 20-026

JOYCE STREET

(PUBLIC - 50' WIDE)

ASSESS. MAP 130B,
LOT 490
N/F
ALBERT J. DUPONT &
ROBIN C DESROSIERS
#1153 JOYCE

IG
3)

Cheveli A. Torres

From: Karen Raposas
Sent: Friday, February 11, 2022 11:18 AM
To: Cheveli A. Torres
Subject: Plot 130B Lot 455

Owner: Ronald Oliveira
Wide Utility Easement Below information

QUITCLAIM DEED

I, PAUL L. DUGAL, Successor Trustee of the DUGAL FAMILY REALTY TRUST, under Declaration of Trust dated May 29, 2009, a Certificate of Trust for which is recorded at the Bristol County (S.D.) Registry of Deeds in Book 9439, Page 236, of 1141 Joyce Street, New Bedford, Massachusetts 02745

for consideration paid, and in full consideration of Seventy-Four Thousand Five Hundred Dollars (\$74,500.00)

grant to RONALD OLIVEIRA, of 5 Archers Way, Acushnet, Massachusetts 02743

with QUITCLAIM COVENANTS

the land, with any building(s) thereon, located in New Bedford, Bristol County, Massachusetts, more particularly bounded and described as follows:

BEGINNING at a point in the southerly line of Kingcroft Street, said point being two hundred fifty (250) feet westerly from the point of intersection of the southerly line of Kingcroft Street with the westerly line of Wild Wood Road, all on said plan hereinafter mentioned;

Thence WESTERLY in said southerly line of Kingcroft Street one hundred (100) feet to a corner; Thence SOUTHERLY along the line of land of party or parties unknown eighty (80) feet to other land of party or parties unknown;

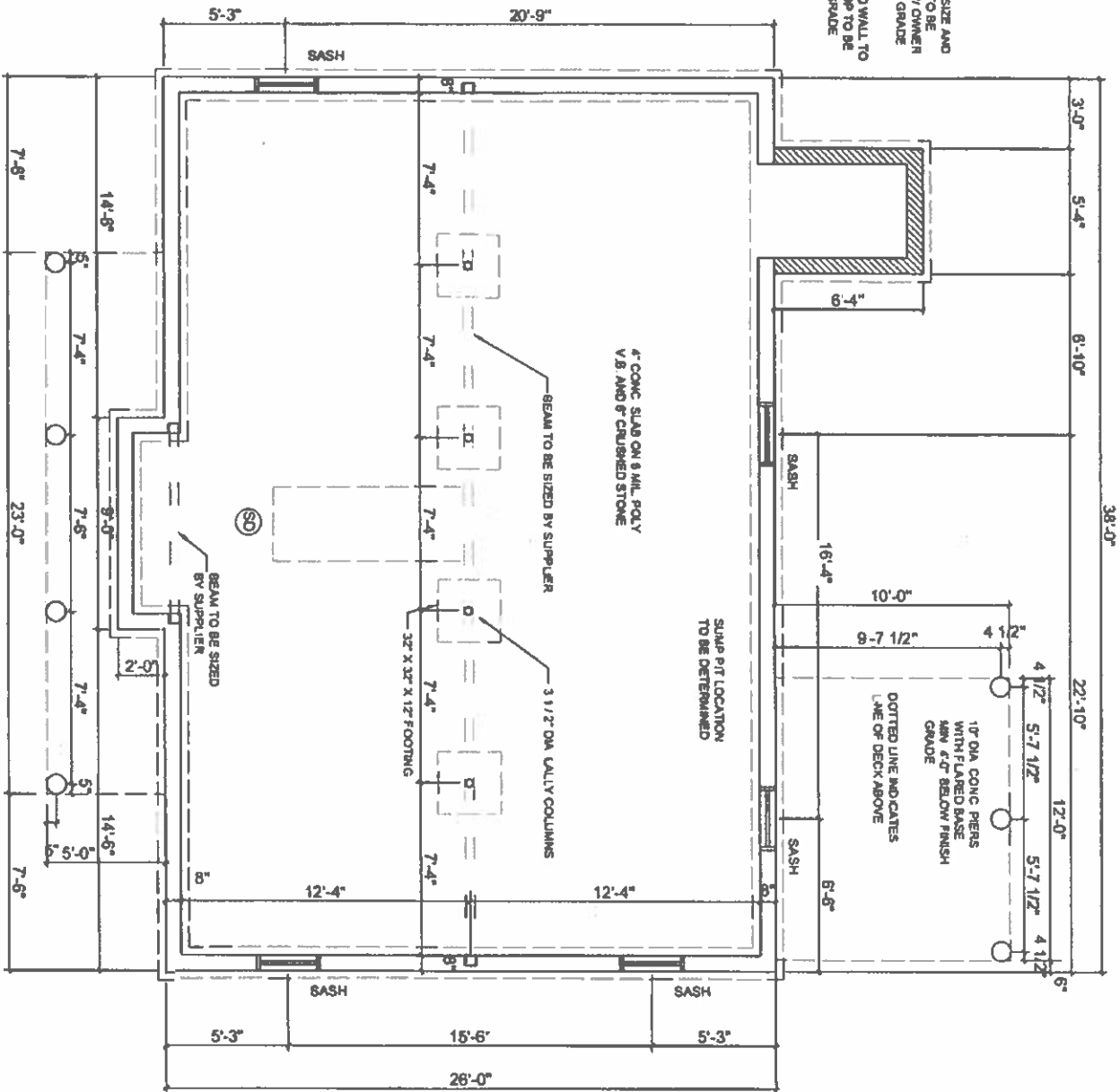
Thence EASTERLY in line of land last named one hundred (100) feet to other land of party or parties unknown; and

Thence NORTHERLY in line of last named land eighty (80) feet to the southerly line of said Kingcroft Street and the point of beginning.

CONTAINING eight thousand (8,000) square feet, more or less, and being Lots 455 through 459 inclusive on plan of Kingcroft, made by W.R. Seamans, C.E. dated December 1906, and recorded at the Bristol County (S.D.) Registry of Deeds in Plan Book 3, Page 62.

Property Address: vacant land, south side Kingcroft Street, New Bedford, Massachusetts 02745.

TOGETHER WITH a non exclusive easement under and across that portion of the premises located at 1141 Joyce Street, New Bedford, Massachusetts 02745, more particularly described in a deed dated May 29, 2009, and recorded at the Bristol County (S.D.) Registry of Deeds in Book 9439, Page 237 (hereinafter referred to as the "Burdened Estate") being shown as the "PROPOSED 30' WIDE UTILITY EASEMENT", containing 2,400 square feet as shown on the plan entitled: "Plan of Easement, 1141 Joyce Street, New Bedford, Massachusetts" prepared for Armand P. Dugal dated February 4, 2020, and recorded at the Bristol County (S.D.) Registry of Deeds in Plan Book 183 , Page 54 . Said easement shall be for the purpose of allowing the Grantee, his successors, and assigns to install, repair and maintain utility lines of all types, including but not limited to water and



APPROVED
TB-20-2479
BUILDING DEPARTMENT

ALL CONSTRUCTION SHALL STRICTLY COMPLY WITH THE 8TH EDITION OF THE
 INTERNATIONAL BUILDING CODE FOR ONE AND TWO FAMILY
 DWELLINGS, AND ANY LOCAL, STATE OR FEDERAL REGULATIONS

DEVELOPER:
RON OLIVEIRA

FOUNDATION PLAN

SCALE 3/8" = 1'-0"

DRAWN BY: M
 DATE: 11-18-17

A-7

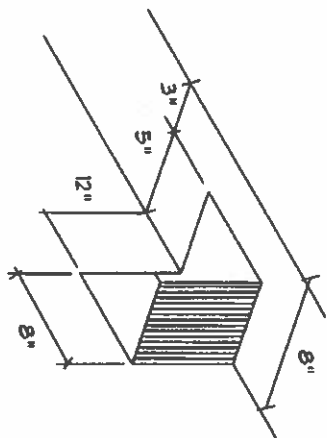
7 of 7

TB-20-2479

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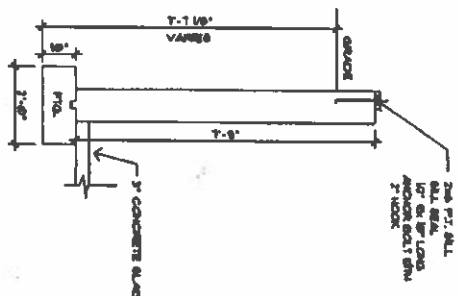
WALL SECTION @ GARAGE DOOR

WCH-24
SCALE 1/2" = 1'-0"
A7.1



FOUNDATION WALL SECTION

SCALE 10" = 1'-0"

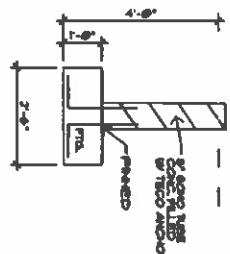


POCKET DETAIL

SCALE 1/2" = 1'-0"

SONO SECTON

471



GENERAL NOTES:

CONCLUSIONS

32. ALL CONCRETE SHALL HAVE A 28-DAY COMPRESSIVE STRENGTH OF 4,000 PSI. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING A 5 DAY PRELIMINARY OR PROVISIONAL CONCRETE DESIGNATION FROM THE DISTRICT ENGINEER.
33. ALL REINFORCED STEEL SHALL BE GR-60 OR GR-70 STEEL, FURNISHED BY THE CONTRACTOR.
34. ALL REINFORCED STEEL SHALL BE PLACED AND TIED TO THE REINFORCING CONTRACTOR'S CONCRETE SHALL BE AS FOLLOWS:
 - A. IF AT CONCRETE FLOORS DIRECTLY ABOVE SLABS, 3" X 3" BARS SHALL BE USED.
 - B. IN ALL OTHER REINFORCING PLACES ARE ALLOWED, JOISTS SPECIFICALLY ENGINEERED FOR THE DEADLOAD OR ALLOWED IN THE CONTRACT DOCUMENTS.
 - C. ALL REINFORCING SHALL BE UNLAPLACED AND LAPPED WITH A MINIMUM LAP OF 48 BAR DIAMETERS.
 - D. ALL REINFORCING SHALL BE UNLAPLACED AND LAPPED WITH A MINIMUM LAP OF 48 BAR DIAMETERS.
 - E. ALL REINFORCING SHALL BE UNLAPLACED AND LAPPED WITH A MINIMUM LAP OF 48 BAR DIAMETERS.
35. CONTRACTOR SHALL MAINTAIN CONCRETE CURING FOR A MINIMUM OF 7 DAYS.
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100. CONTRACTOR SHALL MAINTAIN CONCRETE CURING FOR A MINIMUM OF 7 DAYS.

CONCLUSIONS

- [illegible]

COMPACTED MILL

1. PORTLAND CEMENT OR PORTLAND CEMENT/POZZOLANA CEMENT SHALL BE CONFINED TO THE 1.5 INCHES OF MAXIMUM PERMISSIBLE CRACKING.
 2. ALL OF MAXIMUM PERMISSIBLE CRACKING AREAS SHALL BE REPAIRED AND REINFORCED WITH CONFINED REBAR.
 3. REPAIRS TO THE FULLY CURVED SURFACES UNDER CONCRETE SLABS AND AS NOTED ON DRAWING.
- PERMITTEE FLOODATION DRAINAGE SHALL NOT APPLY.
1. CONNECTION TO MAINLINE AND INITIAL PERMITTEE FLOODATION DRAINAGE SYSTEM SET IN CRACKED DRAINAGE.

PARAGRAPH NOT AFFECT

- [illegible]

[illegible]

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CITY OF NEW BEDFORD

City Hall, Room 308, 133 William Street New Bedford, MA 02740 (508) 979-1540



FOUNDATION PERMIT

12/6/2021

No. B-20-2479

MSBC Sect. 111.8 - Any permit issued shall be deemed abandoned and invalid unless the work authorized by it shall have been commenced within six (6) months after its issuance.

FEE PAID \$100.00

This certifies that Armando M. Pereiraowner/contractor has permission to: _____
on: _____

SS- KINGCROFT ST

130B
-455Foundations Only 1-2 Family - 100.00

Providing that the person accepting this permit shall in every respect conform to the terms of application therefore on file in this office; to the provisions of the statute of the Commonwealth and to the by-laws of the City of New Bedford relating to the inspection, erection, enlarging, altering, raising, moving, repairing, or tearing down of a building.

Permit is issued subject to the following special requirements: (Restrictions)


Wiring Inspector


Plumbing Inspector


Building Inspector
YOUR AREA INSPECTOR IS: Thomas Welch

Tel. (508) 979-1540 Between 8:00am - 9:00am

**NOTICE: NOTIFY INSPECTOR 48 HOURS IN
ADVANCE OF APPLYING SHEATHING OR LATHING**

OCCUPANCY PERMIT REQUIRED BEFORE OCCUPANCY
No Building or Structure shall be used or occupied until the Certificate of Use and Occupancy shall have been issued by the Building Commissioner - MSBC, Sect. 120.1

This Card Must Be Displayed in a Conspicuous Place on the Premises and Not Torn Down or Removed Until Completion of Work

SUBJECT TO MASSACHUSETTS
STATE BUILDING CODE

Armando M. Pereira

Plan Review Comments:

- : Must meet all zoning setbacks and meet DPI Stormwater requirements
- : Must meet all zoning setbacks and meet DPI Stormwater requirements.
- : Taxes have been paid in full
- : NOTE: FOUNDATION,, WILL NEED ELECTRICIAN AND ELECTRICAL PERMIT ATTACHED TO THIS FOUNDATION WORK,, AS WELL AS A UFER GROUND SYSTEM TO BE INSTALL TO THE FOUNDATION REBAR AND THE TAIL END LEFT AT THE ELECTRICAL SERVICE FOR GROUNDING AND BONDING PURPOSES LATER.
- : 1. Sewer service to be 10 ft away from water service.
- 2. Water service to be perpendicular (90 degrees) from main to inside building.
- 3. Water curb stop (shut -off) to be 1.5ft from face of curb/pavement.
- 4. Install water meter at point of entry to building
- 5. Owner to apply for water and sewer permits.

: ASR-DPI Engr.

RE: TB-20-2479
Kingcroft St. (S.S.) 300' W. x Wildwood Rd.
Plot 130B Lot 455
Reviewed 10/15/2020

Pending site plan revisions by applicant's engineer. An email (a copy of which has been attached in View Permit) was sent to the applicant's engineer, Kevin J. Silva of S&K Engineering, LLC, listing the necessary revisions.

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RE: TB-20-2479
Kingcroft St. (S.S.) 300' W. x Wildwood Rd.
Plot 130B Lot 455
Reviewed 10/20/2020

PLEASE NOTE:

It is the responsibility of the applicant and the contractors to be familiar with DPI procedures/regulations and ascertain that all proposed work which falls under DPI jurisdiction, whether shown on the submitted site plan or not, is identified and executed in accordance with City of New Bedford DPI Construction Standards/Specifications. The Certificate of Occupancy (CO) will not be signed for any work performed that is non-compliant and/or if any of the following conditions are not met.

The following conditions are to be met by the applicant (being the owner and/or their representative) as part of this permit approval:

- 1.) The revised site plan submitted via e-mail by Kevin J. Silva (which has been uploaded by DPI into the View Permit system under Engineering) titled: "Building Permit Plan, Ron Oliveira, King-Croft St., Assessors Map 130B, Lot 455, New Bedford, MA", having a date of 7/23/2020 (last revised date of 10/20/2020), as prepared by S & K Engineering, LLC and stamped/signed by Kevin J. Silva, P.E. (Civil), was approved as the "final" site plan and conditionally approved by DPI, as follows:
 - a. Compliance with the City of New Bedford Stormwater Rules & Regulations/Ordinances is required for all project sites, regardless of size. All sites must implement sediment and erosion control measures and will be subject to the required construction site and sediment control inspections. Any project that involves disturbing 1 or more acres will require an EPA NPDES Construction General Permit (refer to Section 3.1.C of the Stormwater Rules & Regulations).
 - b. Copy of the instrument(s) (i.e. plan, deed) recorded at the Registry of Deeds establishing a utility easement along the westerly side of Plot 130B/Lot 485 (N/F belonging to the Dugal Family Trust) for the benefit of the subject parcel, Plot 130B/Lot 455, to install the proposed water and sewer services as shown on the above-approved plan must be submitted to DPI before any permits are issued.
 - c. The applicant is responsible for ensuring that Inspectional Services is provided with the "final" site plan (or any modifications approved by DPI thereafter) to be placed on file in the View Permit system.

- 2.) Must provide 1 stamped/signed copies of the "final" site plan approved by DPI for each of the permits being sought (i.e. water, sewer/drain and sidewalk/driveway permits) for the proposed structure. In addition, a copy of the foundation permit and of the stamped/signed foundation as-built plan must also be submitted. No DPI permits are to be issued until item 1.b. above has been completed, and copies of said documents should be submitted to be attached to water/sewer permits.

Please Note: Any representative pulling permits on behalf of the owner must provide DPI with a permission slip. If the property was acquired within the past 6 months, then a copy of the recorded deed showing property ownership must also be provided.

- 3.) Must contact DPI-Engineering to measure for an address number once the front door is framed. The CO will not be signed unless the legal address issued by the City is permanently affixed to, above, or next to, the main door entrance to which it was assigned such that it is highly visible from the street.

Please be advised that any and all future modifications to the site plan that was reviewed/approved for the above project and placed on file at DPI as the "final" site plan must be resubmitted for review/approval if said changes entail work that falls under the jurisdiction of DPI.

: Construct a foundation as per plans and site plan submitted for single family dwelling

1. Sewer service to be 10 ft away from water service.
2. Water service to be perpendicular (90 degrees) from main to inside building.
3. Water curb stop (shut -off) to be 1.5ft from face of curb/pavement.
4. Install water meter at point of entry to building
5. Owner to apply for water and sewer permits.

ASR-DPI Engrg.

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Please be advised that any and all future modifications to the site plan that was reviewed/approved for the above project and placed on file at DPI as the "final" site plan must be resubmitted for review/approval if said changes entail work that falls under the jurisdiction of DPI.



City of New Bedford, MA

Building Division

City Hall, Room 308, 133 William Street
New Bedford, MA 02740

RECEIPT

APPLICATION TO CONSTRUCTION, REPAIR, RENOVATE, CHANGE THE USE OR OCCUPANCY OF, OR DEMOLISH A DWELLING

Permit No #: TB-20-2480	Date Received: 9/2/2020
Signature: Armando M. Pereira	Date
Building Commissioner/Inspector of Buildings:	

SECTION 1 : SITE INFORMATION

1.1 Property Address SS-130B-455 KINGCROFT ST	1.2 Assessors Map & Parcel Number 130B-455																		
1.3 Zoning Information RA Zoning District	1.4 Property Dimensions 8000 Lot Area Frontage (ft)																		
1.5 Building Setbacks (ft)																			
<table><tr><th colspan="2">Front Yard</th><th colspan="2">Side Yard</th><th colspan="2">Rear Yard</th></tr><tr><th>Required</th><th>Provided</th><th>Required</th><th>Provided</th><th>Required</th><th>Provided</th></tr><tr><td>20.00</td><td>22.00</td><td>8.00</td><td>47.00</td><td>30.00</td><td>25.00</td></tr></table>		Front Yard		Side Yard		Rear Yard		Required	Provided	Required	Provided	Required	Provided	20.00	22.00	8.00	47.00	30.00	25.00
Front Yard		Side Yard		Rear Yard															
Required	Provided	Required	Provided	Required	Provided														
20.00	22.00	8.00	47.00	30.00	25.00														
1.6 Water Supply False	1.7 Flood Zone Information False	1.8 Sewage Disposal False																	

SECTION 2: PROPERTY AUTHORIZED AGENT

Agent of Record					
Armando M. Pereira		2 Holly Tree Lane		West Wareham MA 02576	
Name		Address			

SECTION 3: Description of Proposed Work

Permit For: New Constr./Addition 1-2 Family
Brief Description of Proposed Work: Framing for single family m.s. waiting for the dimensions section J has been received 9/28/20

SECTION 4: Estimated Construction Costs / Permit Fees

Total Project Cost : \$165,000.00	Payment Date	Amount Paid	Check No
Total Permit Fee Paid: \$0.00	Account Number : 02401200-453010 ISPBPM		

THIS IS NOT A PERMIT



City of New Bedford, MA

Building Division

City Hall, Room 308, 133 William Street
New Bedford, MA 02740

RECEIPT

APPLICATION TO CONSTRUCTION, REPAIR, RENOVATE, CHANGE THE USE OR OCCUPANCY OF, OR DEMOLISH
A DWELLING

THIS IS NOT A PERMIT