



PERMIT NO.  
24945

CITY OF NEW BEDFORD  
SEWER AND/OR STORM DRAIN PERMIT

DATE 6-4-2021  
Expire date: 6-4-2022

This certifies that permission is granted to

3800 Murrel Mired 31 (508) 989-8398  
Property Owner Address MB MA Tel.

To connect a sewer and/or storm drain located at 203 Mired Street

Assessor's Plot 114 Lot 87, to the sewer and/or storm drain in 3rd containing within the lot Street

NO exception connection to city sewer/storm drain main.

To be laid in accordance with the conditions in this application and the City of New Bedford ordinances.

TYPE OF USE: RESIDENTIAL

COMMERCIAL

INDUSTRIAL

FLOW

G.P.D.

If applicant other than actual property owner, attach Letter of Authorization from Property Owner

Name: SPAN, TONOLIFE Tel. 508-561-1601  
Mailing Address: P.O. BOX 332, ROXBURY, MA 02110  
The Bonded Contractor/Drain Layer authorized to perform this work is: STAVOUREZ 2908 YORKWOOD RD

Name \_\_\_\_\_ Address \_\_\_\_\_ Tel. \_\_\_\_\_  
Type of Pipe Required: 3 High capacity storm drain chamber 30310-PEP-001

PERMIT EXPIRES ONE YEAR AFTER DATE OF ISSUE

- Requires separate connections for sewage and storm drain where applicable. Storm water cannot be discharged to a sanitary sewer.
  - All work must be inspected and approved by a D.P.I. inspector before backfilling.
  - If this connection is to be part of a private service shared jointly with other building owners, attach copy of Recorded Joint Maintenance Agreement.
  - Permits can be issued to Industrial and/or Commercial Applicants only upon receipt and approval by the Commissioner of Public Infrastructure of required plans and supplemental information.
  - In addition, a City-issued Industrial User Discharge Permit and/or a Sewer Extension/Connection Permit issued by the Commonwealth of Massachusetts D.E.P. shall be required by the City for Industrial Discharge into the sewer system.
- Industrial User Discharge Permit No. \_\_\_\_\_ Date: \_\_\_\_\_

Comm. Mass. Sewer Conn./Ext. Permit No. \_\_\_\_\_ Date: \_\_\_\_\_  
A Filing and Inspection Fee of \$ 300, plus an Entrance Fee of \$ \_\_\_\_\_ where applicable, must accompany this application.

Bank# Bay West Check# 313 Date 6-4-2021 Receipt# 3372785

Other requirements: \_\_\_\_\_

Connection made to \_\_\_\_\_ Sewer \_\_\_\_\_  
Part of jointly-shared private line YES ☒ NO ☐ Storm Drain

Applicant agrees to abide by the above terms, as well as all pertinent ordinances of the City of New Bedford, and such other special rules as the Commissioner of Public Infrastructure and/or City Engineer may deem necessary

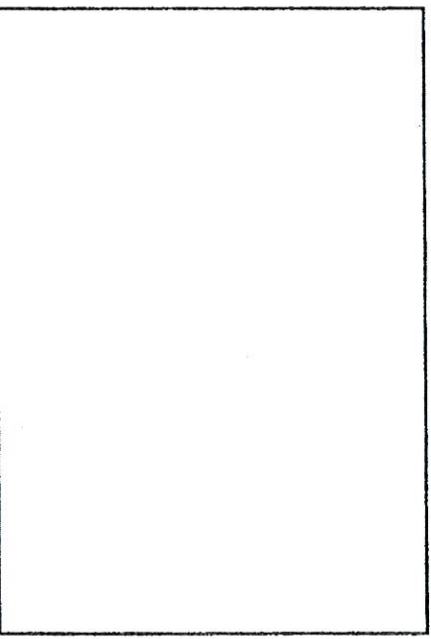
Signature of Property Owner or Representative  
Asst. City Engineer

INSPECTOR'S REPORT

INSPECTED BY: \_\_\_\_\_

DATE: \_\_\_\_\_

COMMENTS: \_\_\_\_\_



APPROVED \_\_\_\_\_ DISAPPROVED \_\_\_\_\_

SKETCH PLAN

SIGNATURE





MISCELLANEOUS PAYMENT    RECPT#: 3372785  
City of New Bedford  
133 William St.  
New Bedford MA 02740

DATE: 06/08/21    TIME: 08:21  
CLERK: a450mmh    DEPT:  
CUSTOMER#: 0

COMMENT:

CHG: DPISEW DPI SEWER PERMI    300.00

REVENUE:  
-----  
1    63906000 422185    300.00  
    Sewer Permit Fee  
CASH:  
    TW05    101009    300.00  
    Cash Treasurer Dep W  
-----

AMOUNT PAID:    300.00

PAID BY:    EASTERN QUALITY CONS  
PAYMENT METH: CHECK  
             MR313

REFERENCE:

AMT TENDERED:    300.00  
AMT APPLIED:    300.00  
CHANGE:    .00

**Cheveli A. Torres**

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<b>From:</b>	Cheveli A. Torres
<b>Sent:</b>	Friday, June 4, 2021 8:54 AM
<b>To:</b>	'stavarez29@yahoo.com'
<b>Subject:</b>	City of New Bedford
<b>Attachments:</b>	203 Milford St Permit Application.pdf

Good Morning,

Attached you will find a copy of the storm drain permit, Please sign at the bottom as the representative and send in the original signature with a \$300 check made payable to the City of New Bedford. This can be placed in the white mail box Infront of the door at 1105 Shawmut Ave. At that time, the permit will be signed and than valid. We will send out a copy

If you could also, include the contractor company name

If you made have any further questions please let me know.

Thank you,



**Cheveli Torres**  
Office Assistant III  
City of New Bedford | Public Infrastructure  
1105 Shawmut Ave, New Bedford, MA 02746  
508.979.1550 x 67305 email: [ctorres@newbedford-ma.gov](mailto:ctorres@newbedford-ma.gov)





## Department of Public Infrastructure

Jamie Ponte  
Commissioner

Water  
Wastewater  
Highways  
Engineering  
Cemeteries  
Park Maintenance  
Forestry  
Energy

### CITY OF NEW BEDFORD Jonathan F. Mitchell, Mayor

#### To Whom It May Concern:

~~BRENDA MURVEY~~ BRIAN MURVEY 203 MILFORD ST. 02745, being  
(Name) (Mailing Address)

Owner of property located at

Plot 114, Lot 87, hereby agree to allow SHAYNE TAVANERZ  
(Name)

P.O. BOX 332 DOCHESTER, MA, to act on my behalf including affixing my  
(Mailing Address)

signature in securing permit for:

☒ Sewer/Drain Service Permits  
☒ Water Service Permits  
☒ Driveway Installation Permits  
☒ Sidewalk Installation Permits

I further agree to conform to, and abide by, All City rules and ask regulations applicable to the permit (s) being applied for:

Name Keriana Muthof  
Signature

203 MILFORD ST. NEW BEDFORD  
Address

6/2/21 508 989 8398  
Date Telephone Number

RE: TB-20-2808

203 Milford St. (Purported Address) \*

Plot 114 Lots 87, 88 and 89\*\*

Reviewed 3/11/2020

\*Lol Smith - driveway

\*Email Stavaraz 29@yahoo

PLEASE NOTE:

It is the responsibility of the applicant and the contractors to be familiar with DPL procedures/regulations and ascertain that all proposed work which falls under DPL jurisdiction, whether shown on the submitted site plan or not, is identified and executed in accordance with City of New Bedford DPL Construction Standards/Specifications. The Certificate of Occupancy (CO) will not be signed for any work performed that is non-compliant and/or if any of the following conditions are not met.

The following conditions are to be met by the applicant (being the owner and/or their representative) as part of this permit approval:

- 1.) The site plan submitted in View Permit, titled: "Building Permit Plan, Brenda L. Mulvey, Assessors Map 114, Lots 87, 88, & 89, #203 Milford Street, New Bedford, MA 02745", having a date of 12/7/2020 (last revised 3/1/2021), as prepared by S&K Engineering, LLC and Alpha Engineering, stamped/signed by Kevin J. Silva, P.E. (Civil) and Leon C. Halle, P.L.S., is approved for obtaining DPL permits, with the following comments/conditions:
  - a. There is a discrepancy that was noted regarding the proposed type of piping for the infiltration system. The plan view calls out 4" SDR 35 pipe to be installed, but the details (drainage design notes and specs.) calls out 4" Sch. 40. The contractor is responsible for clarifying this with the engineer.
  - 2.) Must provide 1 stamped/signed copy of the "final" site plan approved by DPL for the driveway permit and the recharge system inspection required for the new addition (garage). In addition, a copy of the building permit and of the stamped/signed foundation as-built plan must also be submitted.

Please Note: Any representative pulling permits on behalf of the owner must provide DPL with a permission slip. If the property was acquired within the past 3 months, then a copy of the recorded deed showing property ownership must also be provided.

3.) Compliance with the City of New Bedford Stormwater Rules & Regulations/Ordinances is required for all project sites, regardless of size. All sites must implement sediment and erosion control measures and will be subject to the required construction site and sediment control inspections.

\*4.) The purported address number (#203) will be verified by Engineering prior to the CO being signed. If it is found that the above address number was not assigned as the legal address of the door being utilized as the main entrance of the existing structure, the applicant will be notified and said address discrepancy will need to be resolved. The CO will not be signed unless the correct legal address issued by the City is permanently affixed to, above, or next to, the main door entrance to which it was assigned such that it is highly visible from the street.

Please be advised that any and all future modifications to the site plan that was reviewed/approved for the above project and placed on file at DPI as the "final" site plan for permitting must be resubmitted for review/approval if said changes entail work that falls under the jurisdiction of DPI.

Note to Inspectional Services:

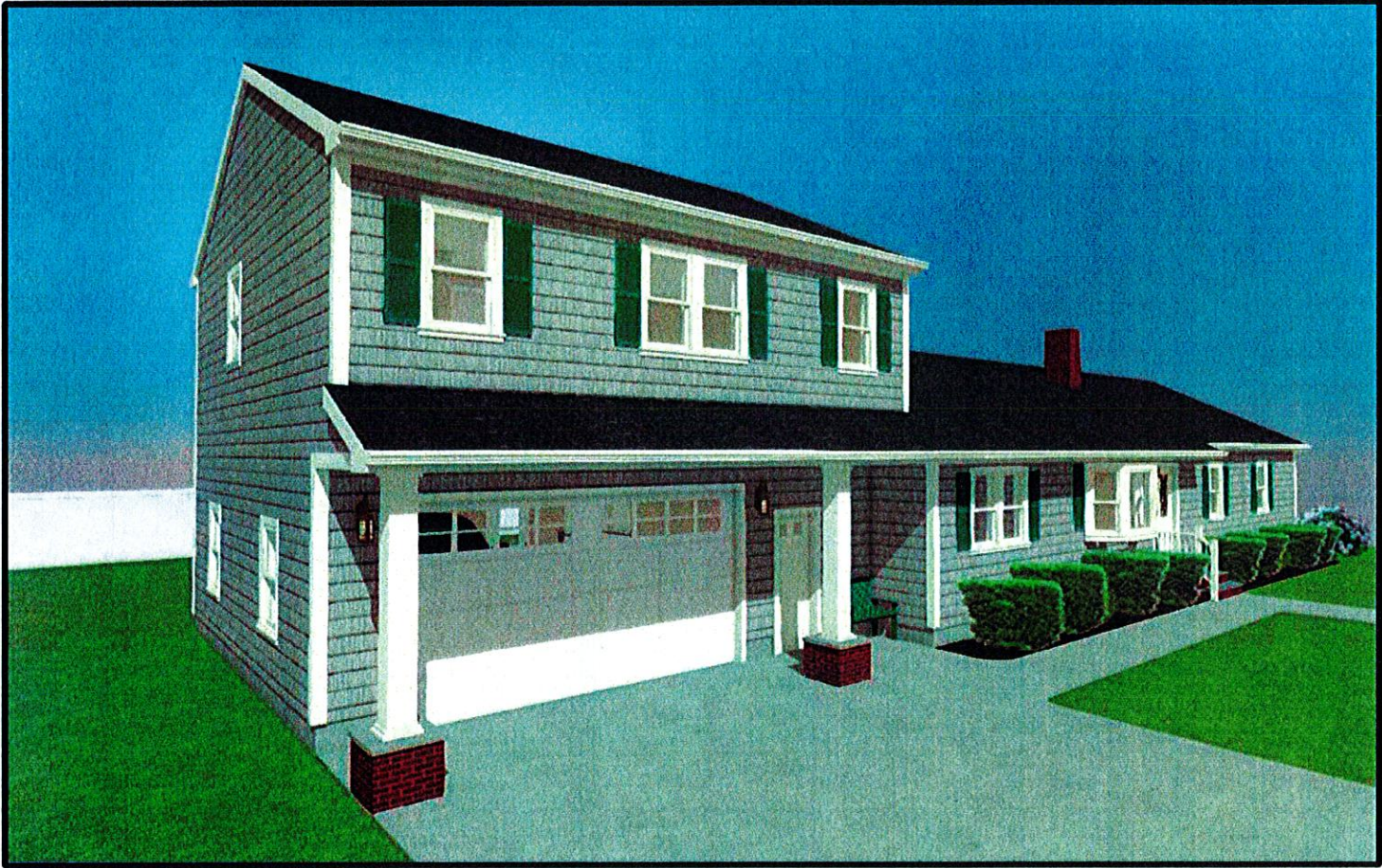
a. Please provide a copy of the DPI review comments to the applicant at the time he/she is issued the building permit. It is imperative that the applicant receives these comments and is aware of the conditions under which their permit was approved.

\*\*b. Please note that this property is composed of 3 individual lots, all of which are registered land parcels.



10-20-2008

203 Milford St. Proposed Addition for Mr. & Mrs. Brian Mulvey  
203 Milford Street New Bedford, MA



EXISTING HOUSE AND CARPORT

DISCLAIMER:  
TMR HAS PREPARED THESE PLANS BASED ON INFORMATION PROVIDED TO TMR. THIS DRAWING IS INTENDED TO DEPICT THE PROPOSED ADDITION AS REQUESTED. TMR HAS NOT PERFORMED ANY ENGINEERING OR DESIGN SERVICES FOR THIS PROJECT, NOR HAS TMR INDEPENDENTLY VERIFIED THE INFORMATION SUPPLIED. THE DESIGNS PROVIDED HEREIN ARE GENERAL RECOMMENDATIONS. THE DESIGN ENGINEER SHALL REVIEW THESE DETAILS PRIOR TO CONSTRUCTION. IT IS THE DESIGN ENGINEERS RESPONSIBILITY TO ENSURE THAT THE DETAILS PROVIDED HEREIN MEETS OR EXCEEDS THE APPLICABLE STATE OR LOCAL REQUIREMENTS AND TO ENSURE THAT THE DETAILS PROVIDED HEREIN ARE ACCEPTABLE FOR THIS PROJECT.

TABLE OF CONTENTS	
LABEL	TITLE
A-1	TITLE SHEET
A-2	FOUNDATION PLAN
A-3	1ST FLOOR PLAN
A-4	2ND FLOOR PLAN AND WINDOW - DOOR SCHED.
A-5	ELEVATIONS
A-6	SECTION 'A'
A-7	SECTION 'B' & 'C'



REVISIONS		
REV #	DATE	DESCRIPTION
1	8-20-2020	GENERAL REVISIONS - OPTION 3
2		
3		
4		
5		
6		
7		
8		
9		
10		

THE INFORMATION ON THESE DRAWINGS ARE FOR INFORMATIONAL USE ONLY. ANYONE USING THESE DRAWINGS FOR CONSTRUCTION ASSUMES ALL RISK AND RESPONSIBILITY.

NEW ADDITION AND GARAGE FOR:  
MR. & MRS. BRIAN MULVEY  
203 MILFORD STREET  
NEW BEDFORD, MA

Drawing Description:  
TITLE SHEET

Scale: = 1'-0"

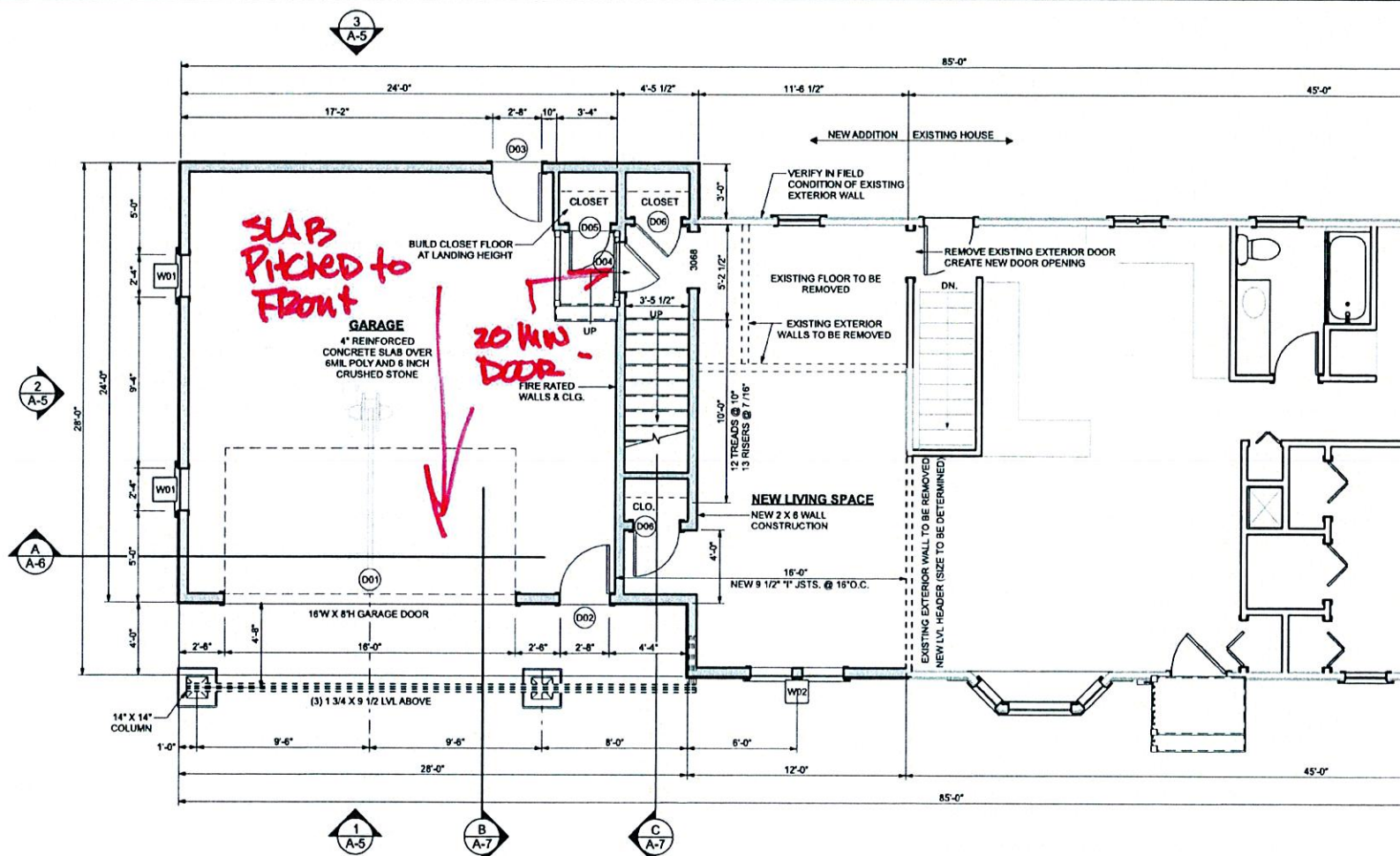
Date: 7-2-2020

Checked by:

Drawn by:  
TMR

**A-1**





REV. #	DATE	DESCRIPTION
1	8-20-2020	GENERAL REVISIONS - OPTION 3
2		
3		
4		
5		

THE INFORMATION ON THESE DRAWINGS ARE FOR INFORMATIONAL USE ONLY. ANYONE USING THESE DRAWINGS FOR CONSTRUCTION ASSUMES ALL RISK AND RESPONSIBILITY.

NEW ADDITION AND GARAGE FOR:  
MR. & MRS. BRIAN MULVEY  
203 MILFORD STREET  
NEW BEDFORD, MA

Drawing Description:  
1ST FLOOR PLAN

Scale: 1/4" = 1'-0"

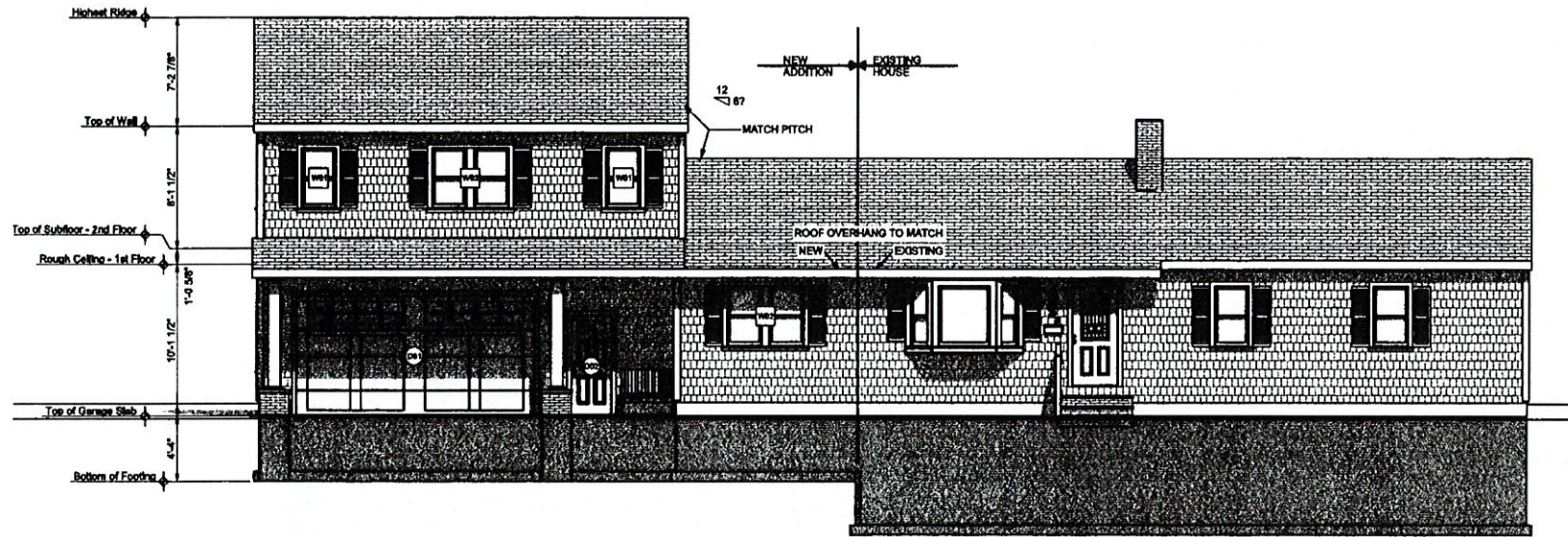
Date: 7-2-2020

Checked by:

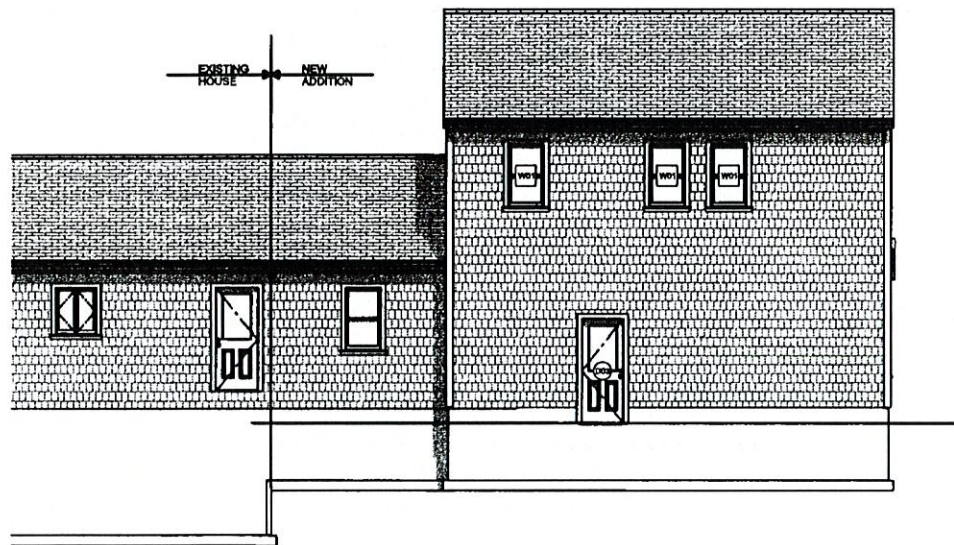
Drawn by:  
TMR

**A-3**

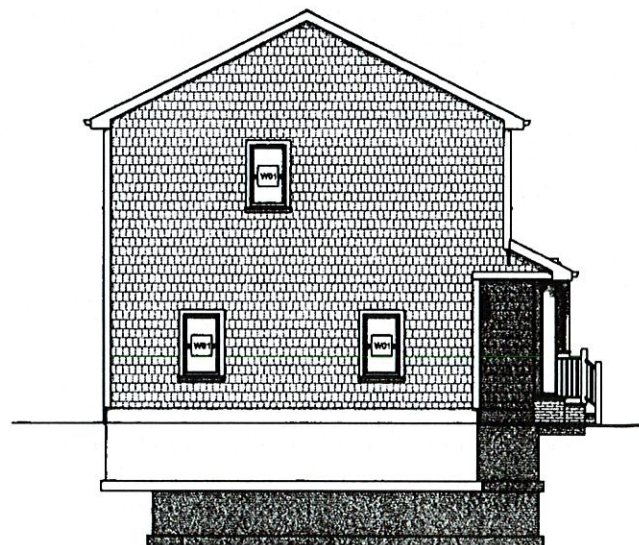




**EAST - FRONT ELEVATION 1**  
SCALE: 3/16" = 1'-0"



**WEST - BACK ELEVATION 2**  
SCALE: 3/16" = 1'-0"



**SOUTH - SIDE ELEVATION 3**  
SCALE: 3/16" = 1'-0"

REV. #	DATE	DESCRIPTION
1	7-2-2020	GENERAL REVISIONS - OPTION 3
2		
3		
4		
5		

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NEW ADDITION AND GARAGE FOR:  
MR. & MRS. BRIAN MULVEY  
203 MILFORD STREET  
NEW BEDFORD, MA

Drawing Description:  
ELEVATIONS

Scale: 3/16" = 1'-0"

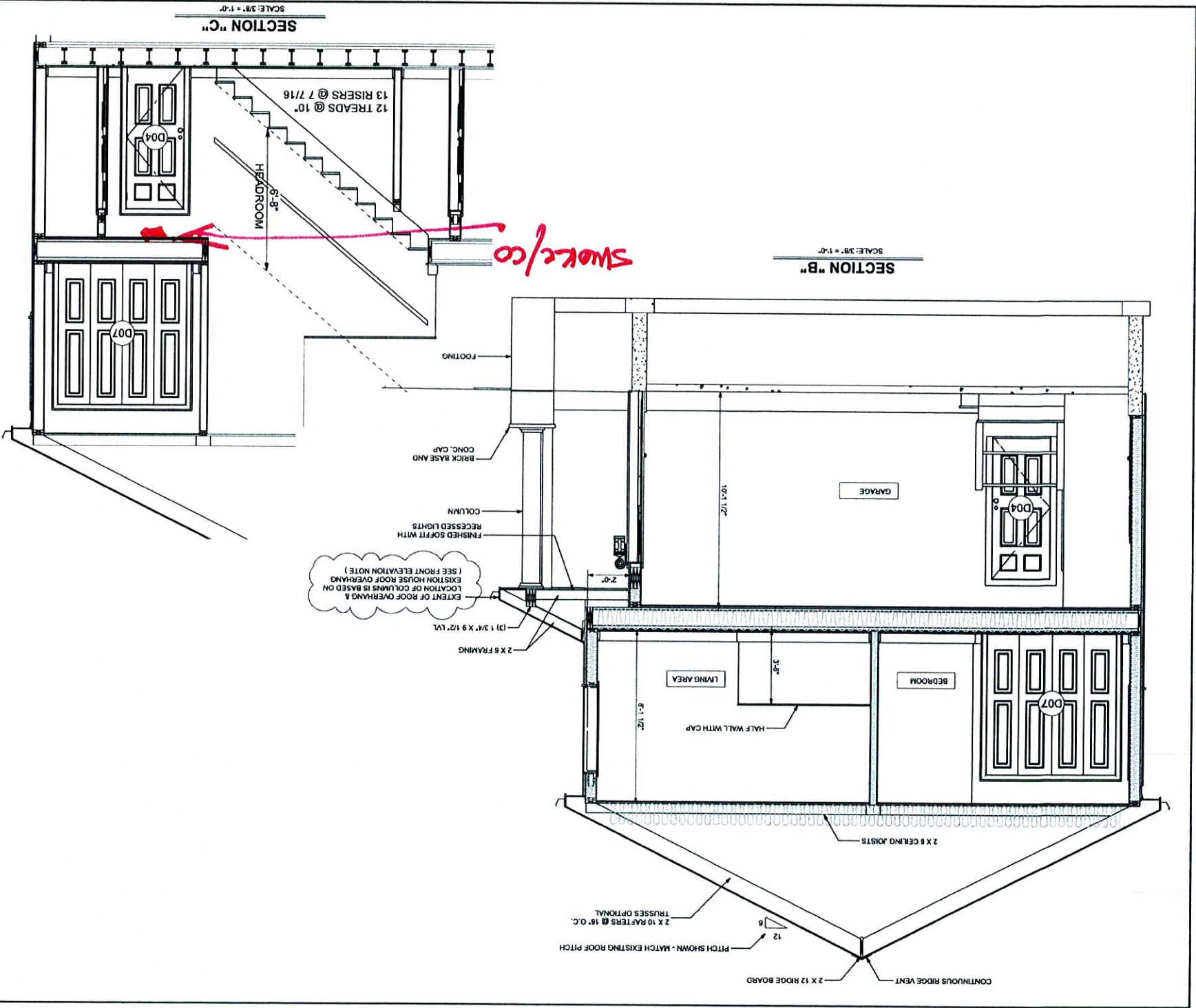
Date: 7-2-2020

Checked by:

Drawn by:  
TMR

**A-5**





A-7

Drawn by: TMR  
Checked by:  
Date: 7-2-2020  
Scale: 3/8" = 1'-0"

Drawing Description:  
SECTION "B" & "C"

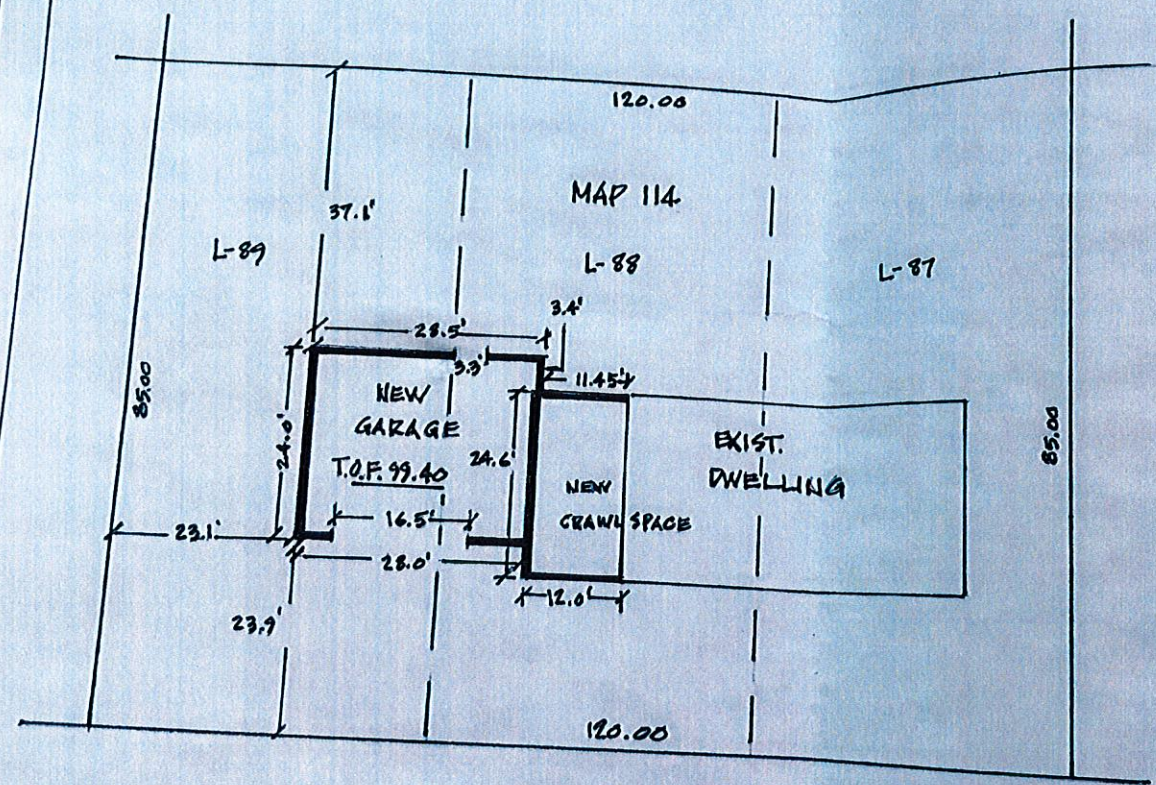
NEW ADDITION AND GARAGE FOR:  
MR. & MRS. BRIAN MULVEY  
203 MILFORD STREET  
NEW BEDFORD, MA

THE INFORMATION ON THIS  
DRAWING IS FOR GENERAL  
REFERENCE ONLY. ANY  
CONSTRUCTION SHALL BE  
IN ACCORDANCE WITH THE  
REQUIREMENTS OF THE  
APPLICABLE CODES.

REV. #	DATE	REVISIONS
1	8-20-2020	GENERAL REVISIONS - OPTION 3
2		
3		
4		
5		



ALD.



AS BUILT FDU.  
GARAGE &  
CRAWL SPACE  
203 MILFORD ST.  
NEW BEDFORD, MA.  
SCALE 1"=20' 4-27-21

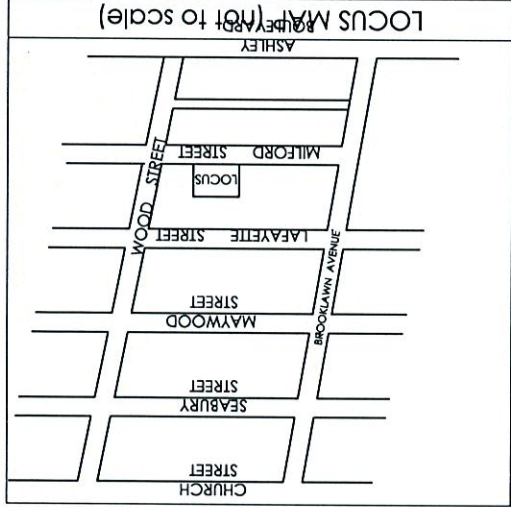
T.C. 95.91 BM.

MILFORD STREET



*Leon C. Hall*  
4/28/21





**ZONING REQUIREMENTS:**

MINIMUM LOT FRONTAGE	75.00'
MINIMUM FRONT YARD	20.00'
MINIMUM SIDE YARD	10.0' & 12.0'
MINIMUM REAR YARD	30.00'
MINIMUM TOTAL AREA	8,000 sq. ft.
MAXIMUM % LOT COVERAGE	30% (Required)
REAR YARD	30.00'

30' MIN. SIDE YARD

1. REFER TO LAND COURT REFERENCE # 23510, LOTS 6, 8, & 10 AS SHOWN ON PLAN 24226A.
2. EXISTING UTILITIES SHOWN HAVE BEEN TAKEN FROM RECORD DRAWINGS &/OR ON THE GROUND LOCATIONS ARE THE RESPONSIBILITY OF THE CONTRACTOR WITH THE AID OF DIG SAFE AND OTHER RESPECTIVE UTILITY COMPANIES.
3. ALL CONSTRUCTION MATERIALS AND INSTALLATION METHODS TO CONFORM TO THE CITY OF NEW BEDFORD DEPARTMENT OF PUBLIC INFRASTRUCTURE SPECIFICATIONS AND THE COMMONWEALTH OF MASSACHUSETTS DEPARTMENT OF PUBLIC WORKS CONSTRUCTION STANDARDS. AS MOST RECENTLY AMENDED.
4. CONTRACTOR SHALL KEEP RECORDS OF LOCATIONS FOR ALL UNDERGROUND UTILITIES INSTALLED FOR USE IN COMPLYING AS-BUILT SITE PLAN.
5. CONTRACTOR TO VERIFY AND CHECK BENCHMARK AND ELEVATIONS AS SHOWN ON THIS PLAN PRIOR TO CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL PERMITS AS MAY BE REQUIRED. CONTRACTOR ALSO REQUIRED TO PAY ALL PERMITS AND FEES ASSOCIATED WITH COMPLETION OF THE WORK.
6. ANY LAWN AREA DISTURBED DURING CONSTRUCTION TO BE LOAM AND SEED AFTER PROPER BACKFILLING AND ALL TRENCHES WITHIN THE EXISTING PAVEMENT TO BE REPAIRED PER DPI STANDARDS.
7. LOCUS IS SERVICED BY MUNICIPAL WATER AND SEWER.
8. LOCUS IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD ZONE.
9. PROPOSED DRIVEWAY TO BE LOCATED SOUTH OF THE EXIST. DRIVEWAY. CURBING REMOVED FOR REPLACING ANY DAMAGED CURBING WITH NEW, MATCHING THE EXISTING. ANY USABLE CURBING LEFT OVER TO BE RETURNED TO CITY DPI YARD.

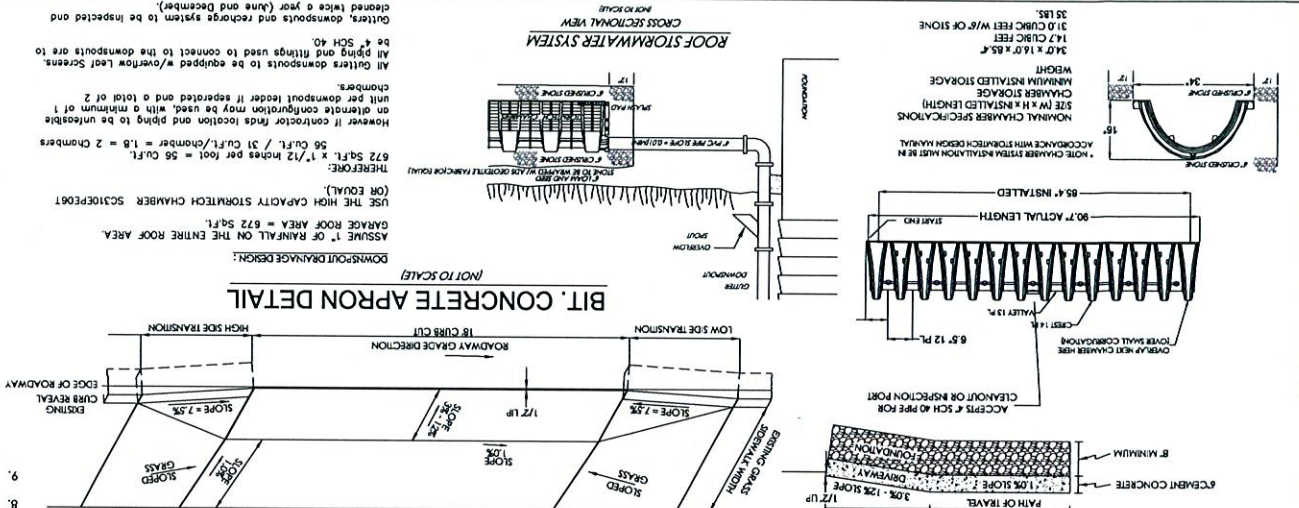
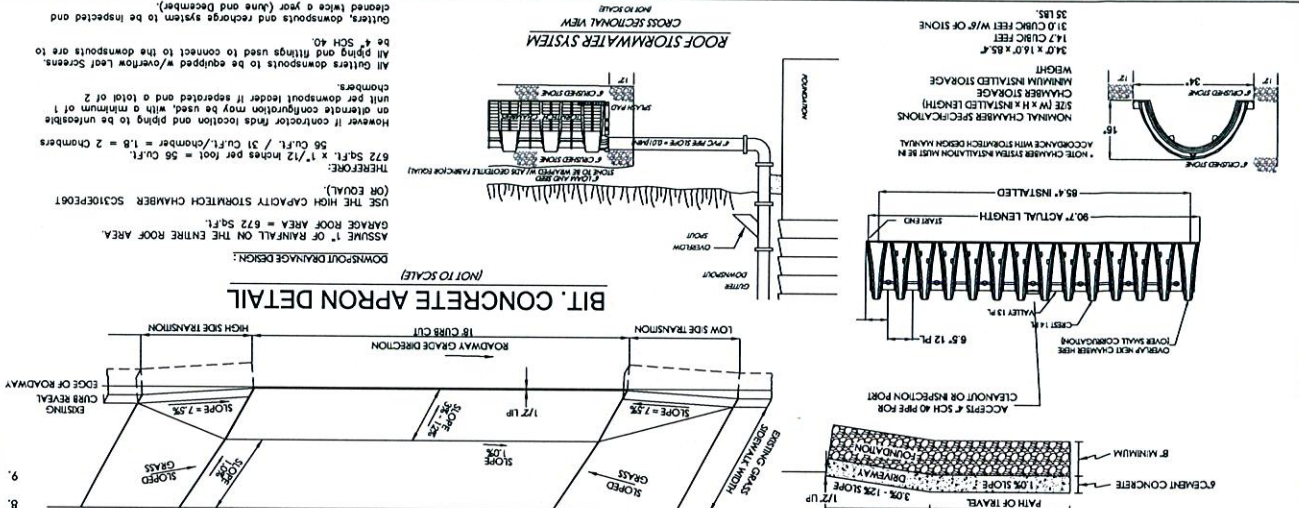
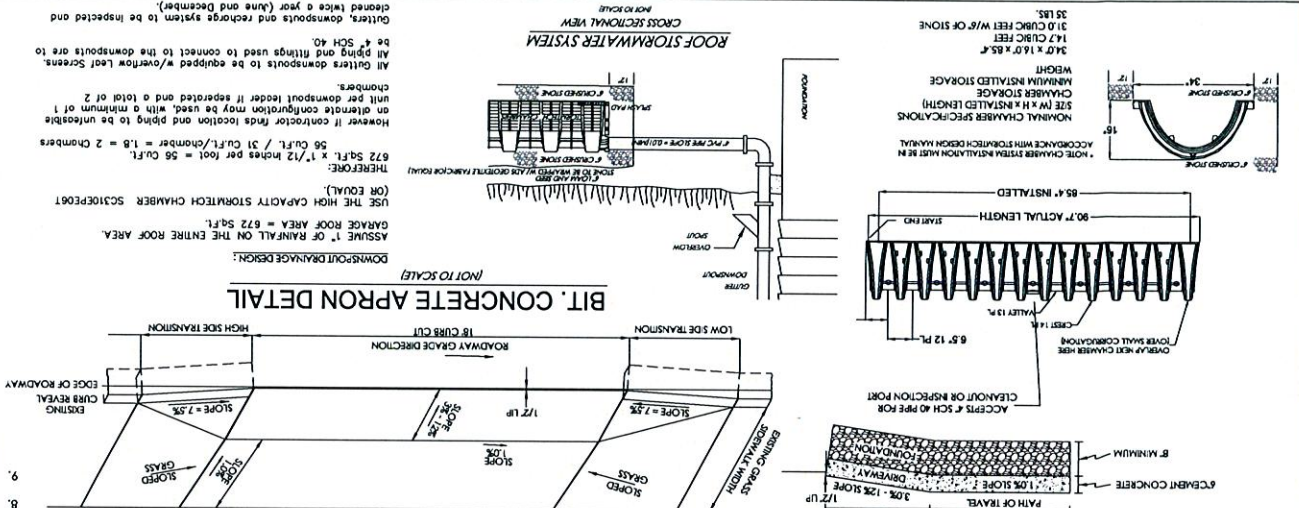
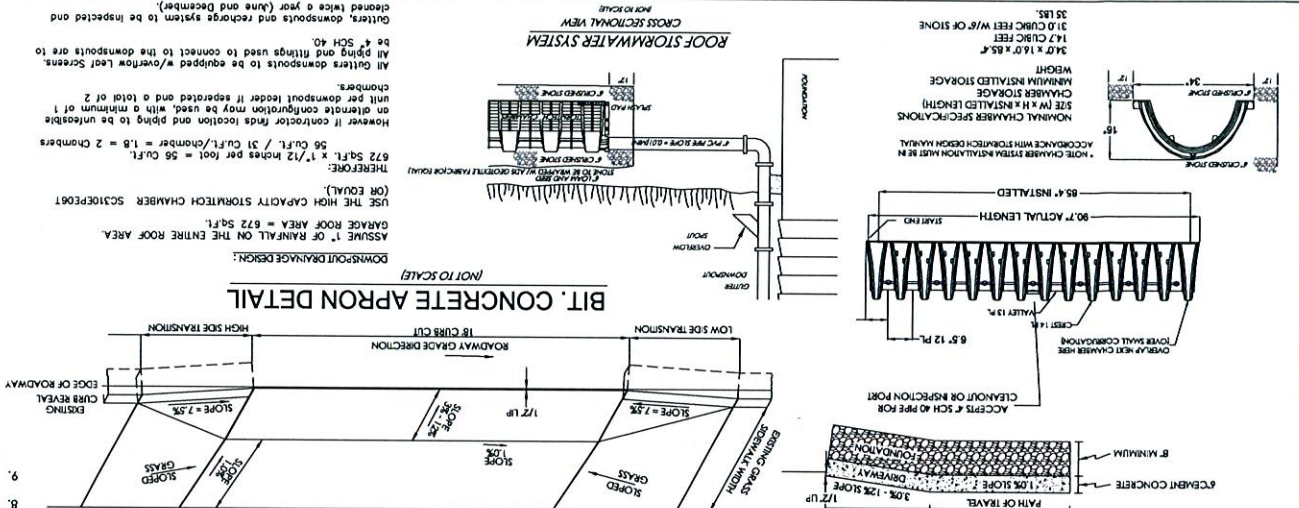
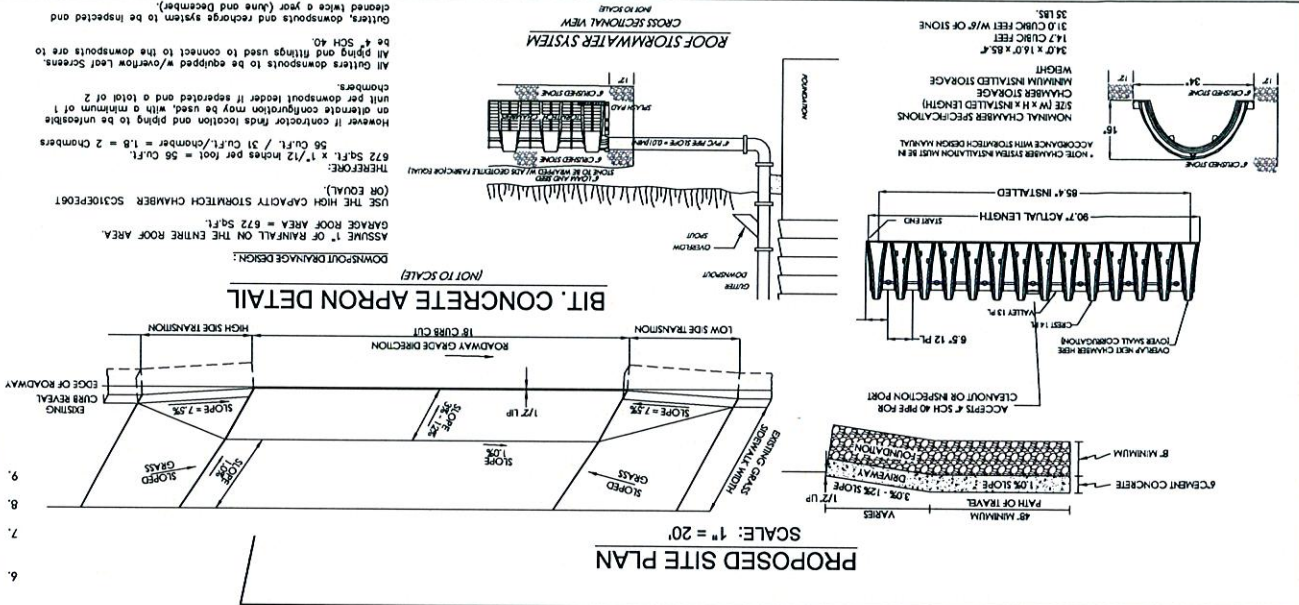
**BUILDING PERMIT PLAN**

BRENDA L. MULVEY  
ASSESSORS MAP #114, LOTS 87, 88, & 89  
#203 MILFORD STREET  
NEW BEDFORD, MA 02745

**Alpha Engineering**  
32 Valente Street  
New Bedford, MA 02740  
Tel: (508) 997-9976



DATE: 12/07/20	DESIGNED BY: LCH
CHECKED BY: LCH	REVISION
BY	
LEON C. HALL	CURBING CALL OUT
KEYIN J. SILVA	
DRAWN BY: KJS	JOB NO.: 20-069





# On-line Permit Center

## City of New Bedford, MA

133 William Street . New Bedford, MA 02740 . (508) 979-1400

Powered by  
**ViewPermit**  
Innovative permit management



stavareze2@yahoo.com (Contractor) 

**Project #:** B-20-2808    **Location:** 203 MILFORD ST    **Status:** Issued    **Balance Due:** \$0.00

- PERMIT INFORMATION

Occupancy Type	Building Type	Date Submitted	Date Issued	Permit For
Residential	Single Family	9/23/2020	3/25/2021	New Constr./Addition 1-2 Family
<b>Project Cost</b>	<b>Permit Fee</b>	<b>Additional Fee</b>	<b>Total Fee</b>	<b>Total Paid</b>
115000.00	\$475.00	\$125.00	\$600.00	\$600.00
<b>Work Description</b>				
NEW CONSTRUCTION/ ADDITION Attached two car garage with two bedrooms and living area on second floor waiting for plans and site plan 9/24/20				
Plans Attached [dk 2-9-2021] plans resubmitted 2/9/21 _____ Revised Site Plan attached and				
resubmitted for review [dk 3-10-2021]				

OWNER

RODRIGUES JEMENIA  
203 MILFORD ST  
NEW BEDFORD MA 02745

APPLICANT

Shane Tavares  
302 Mendell Road  
Rochester MA 02770

CONTRACTOR

Shane Tavares	302 Mendell Rd	Rochester	102342	03/29/2021
Shane Tavares	302 Mendell Rd	Rochester	166021	06/21/2021

Attach Documents / Photos

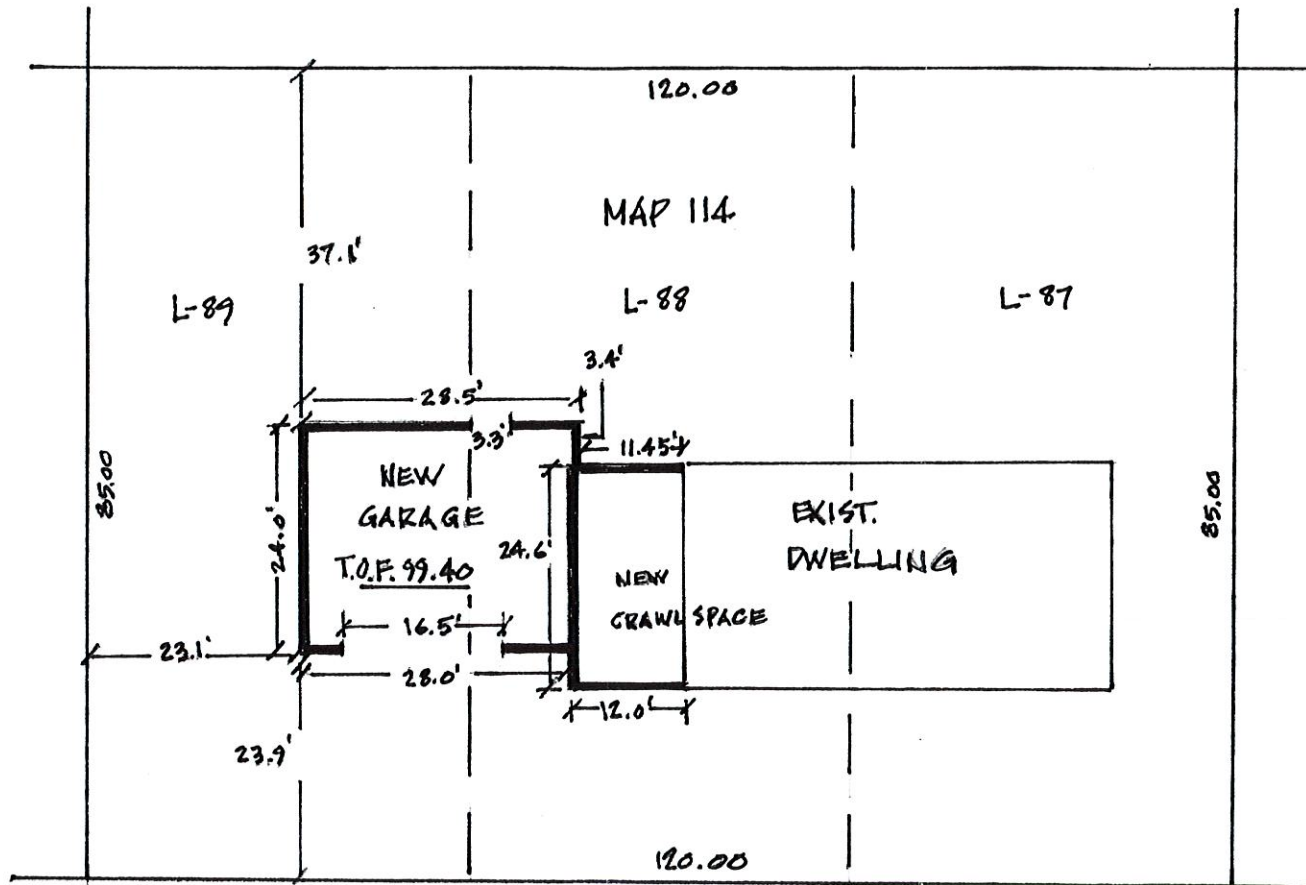


+ APPLICATION REVIEW STATUS

+ INSPECTIONS

+ CERTIFICATE OF OCCUPANCY REVIEW STATUS





AS BUILT FDU.  
GARAGE &  
CRAWL SPACE  
203 MILFORD ST.  
NEW BEDFORD, MA.  
SCALE 1"=20' 4-27-21



*Leon G. Hall*  
4/27/21

L.C.H. 4/27/21