



PERMIT NO. 24975 STORM CITY OF NEW BEDFORD DATE 8-9-2022  
SEWER AND/OR STORM DRAIN PERMIT Expire date: 8-9-2021

This certifies that permission is granted to

Property Owner Charles Macapetites Address 18 Ains St Dartmouth MA Tel. (508) 617-3778

To connect a sewer and/or storm drain located at RiverView Terrace (S) 142' S x Douglas St.  
Assessor's Plot 6 Lot 54 to the sewer and/or storm drain in Self contained units Street Sewer # 24974

To be laid in accordance with the conditions in this application and the City of New Bedford ordinances.  
TYPE OF USE: RESIDENTIAL COMMERCIAL INDUSTRIAL FLOW \_\_\_\_\_ G.P.D.

If applicant other than actual property owner, attach Letter of Authorization from Property Owner.

Name Charles Macapetites Tel. 724-263-0077  
Mailing Address 42 Bush St. Dartmouth  
The Bonded Contractor/Drain Layer authorized to perform this work is:

Name (a) C. Utter Address 150 Lind Chambers St. Tel. \_\_\_\_\_  
Type of Pipe Required \_\_\_\_\_

#### PERMIT EXPIRES ONE YEAR AFTER DATE OF ISSUE

- Requires separate connections for sewage and storm drain where applicable. Storm water cannot be discharged to a sanitary sewer.
  - All work must be inspected and approved by a D.P.L. inspector before backfilling.
  - If this connection is to be part of a private service shared jointly with other building owners, attach copy of Recorded Joint Maintenance Agreement.
  - Permits can be issued to Industrial and/or Commercial Applicants only upon receipt and approval by the Commissioner of Public Infrastructure of required plans and supplemental information.
  - In addition, a City-issued Industrial User Discharge Permit and/or a Sewer Extension/Connection Permit issued by the Commonwealth of Massachusetts D.E.P. shall be required by the City for Industrial Discharge into the sewer system.
- Industrial User Discharge Permit No. \_\_\_\_\_ Date \_\_\_\_\_

Comm. Mass. Sewer Conn./Ext. Permit No. \_\_\_\_\_ Date \_\_\_\_\_  
A Filing and Inspection Fee of \$ \_\_\_\_\_, plus an Entrance Fee of \$ 300 where applicable, must accompany this application.

Bank# Bank Five Check# 1094 Date 8-7-2021 Receipt# 3478984

Other requirements: Sewer Permit # 24974

Connection made to \_\_\_\_\_ Sewer \_\_\_\_\_ Part of jointly-shared private line YES (NO)  
Storm Drain \_\_\_\_\_

Applicant agrees to abide by the above terms, as well as all pertinent ordinances of the City of New Bedford, and such other special rules as the Commissioner of Public Infrastructure and/or City Engineer may deem necessary

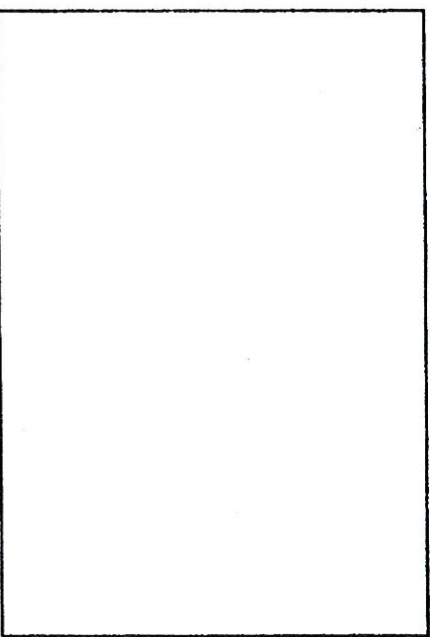
Stephen Croft Asst. City Engineer  
Signature of Property Owner or Representative

#### INSPECTOR'S REPORT

INSPECTED BY: \_\_\_\_\_

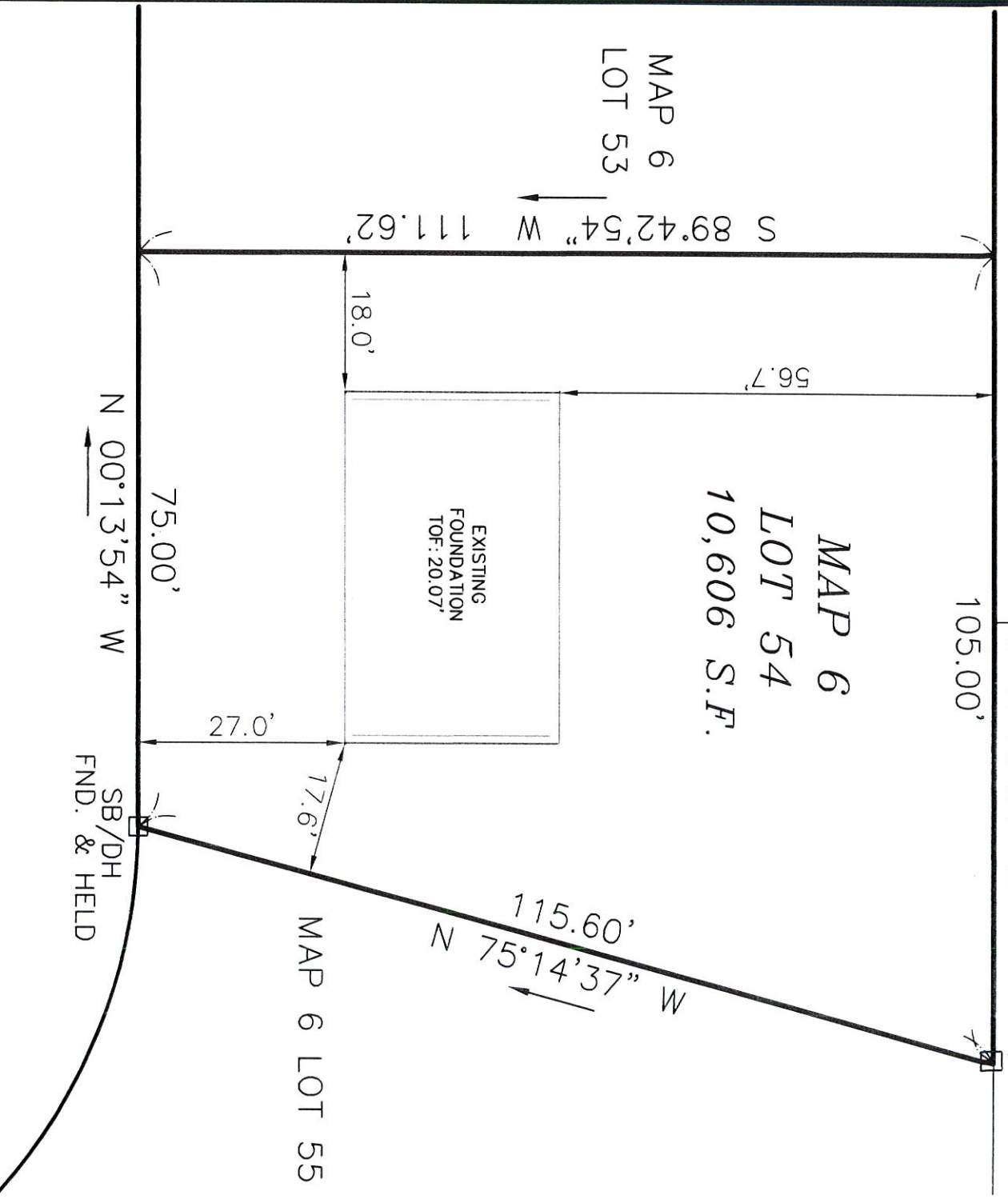
DATE: \_\_\_\_\_

COMMENTS: \_\_\_\_\_



APPROVED \_\_\_\_\_ DISAPPROVED \_\_\_\_\_ SKETCH PLAN

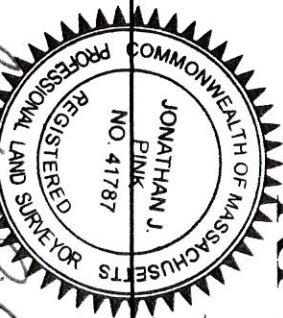
SIGNATURE



RIVERVIEW ( PUBLIC - 50' WIDE ) TERRACE

AS-BUILT FOUNDATION PLAN - MAP 6 LOT 54

RIVERVIEW TERRACE  
IN  
NEW BEDFORD, MA



Surveyed 5-10-21

I CERTIFY THAT THE FOUNDATION SHOWN  
HEREON, AS BUILT, CONFORMS TO THE CITY  
OF NEW BEDFORD ZONING SETBACK  
REQUIREMENTS.

DATE: AUGUST 10, 2021

SCALE: 1" = 20'



ZENITH LAND SURVEYORS, LLC  
1162 ROCKDALE AVENUE  
NEW BEDFORD, MA 02740  
(508) 995-0100

PROFESSIONAL LAND SURVEYOR DATE

5-10-21

MISCELLANEOUS PAYMENT    RECPT#: 3478984  
City of New Bedford  
133 William St.  
New Bedford MA 02740

DATE: 08/10/21                      TIME: 14:43  
CLERK: a450mb                      DEPT:                        
CUSTOMER#: 0

COMMENT:

CHG: DPIPEW DPI SEWER PERMI                      300.00

-----  
REVENUE:  
1 63906000 422185                      300.00  
Sewer Permit Fee  
CASH:  
TH05                      101009                      300.00  
Cash Treasurer Dep W  
-----

AMOUNT PAID:                      300.00

PAID BY:                      CHUCKS HOME PROPERTI  
PAYMENT METH: CHECK  
MR1094

REFERENCE:

AMT TENDERED:                      300.00  
AMT APPLIED:                      300.00  
CHANGE:                      .00

RE: TB-21-1133

Riverview Terrace (E.S.) 142' S. x Douglas St.

Plot 6 Lot 54\*

Reviewed 7/7/2021

PLEASE NOTE:

It is the responsibility of the applicant and the contractors to be familiar with DPI procedures/ regulations and ascertain that all proposed work which falls under DPI jurisdiction, whether shown on the submitted site plan or not, is identified and executed in accordance with City of New Bedford DPI Construction Standards/Specifications. The Certificate of Occupancy (CO) will not be signed for any work performed that is non-compliant and/or if any of the following conditions are not met.

The following conditions are to be met by the applicant (being the owner and/or their representative) as part of this permit approval:

1.) The site plan submitted in View Permit, titled: "Building Permit Plan, Assessors Map 6 Lot 54, Riverview Terrace, New Bedford, Massachusetts", having a date of 4/30/2021 (last revised 6/21/2021), as prepared by Zenith Consulting Engineers, LLC and stamped/signed by Rene L. Gagnon, P.E. (Civil), is conditionally approved for DPI permitting.

2.) \* A plan has been recorded at the Registry of Deeds (PB 182-39) on 3/16/2021 changing the northerly lot line and total area of the subject parcel. The new parcel configuration will most likely retain the same parcel id. number.

3.) Must provide 1 stamped/signed copy of the "final" site plan approved by DPI for the permits being sought (i.e. water, sewer/drain and sidewalk/driveway permits, etc.) for the proposed structure. In addition, a copy of the foundation permit and of the stamped/signed foundation as-built plan must also be submitted.

Please Note: Any representative pulling permits on behalf of the owner must provide DPI with a permission slip. If the property was acquired within the past 6 months, then a copy of the recorded deed showing property ownership must also be provided.

4.) Compliance with the City of New Bedford Stormwater Rules & Regulations/Ordinances is required for all project sites, regardless of size. All sites must implement sediment and erosion control measures and will be subject to the required construction site and sediment control inspections.

5.) Must contact DPI-Engineering to measure for an address number once the front door is framed. The CO will not be signed unless the legal address issued by the City is permanently affixed to, above, or next to, the main door entrance to which it was assigned such that it is highly visible from the street.

Please be advised that any and all future modifications to the site plan that was reviewed/approved for the above project and placed on file at DPI as the "final" site plan for permitting must be resubmitted for DPI review/approval.

ASR-DPI Engrg.

RE: TB-21-1133

Riverview Terrace (E.S.) 142' S. x Douglas St.

Plot 6 Lot 54

Reviewed 5/13/2021

The site plan and architectural plan in View Permit were reviewed by DPI. This permit is denied pending addressing the following comments:

1. Add present owner and legal ref. info. for subject lot.
2. Correct legal ref. (Book #) for Plot 6 Lot 53.
3. Show pipe connections for the two rear infiltration units and label size and type of material to be used.
4. The proposed roof area of 1,380 S.F. used in the calculations is incorrect. The 1,380 S.F. is the building footprint area. Adjust infiltration units required accordingly.
5. The sewer/storm drain system in Riverview Terrace is an over/under system, and should be shown/labeled as such (12" storm over 10" sewer). The plan shows the storm drain main to be west of the sewer main. There is also storm drain manhole that is next to the sewer manhole, but is not on the site plan (possibly buried?). Please see record information on file at DPI and update.
6. Add a statement in the "Notes" section stating that the bonded contractor is to proceed with caution when digging, as this is an over/under system (12" storm over 10" sewer) and must verify that the sewer lateral is not being connected to the storm drain main.
7. Note 1 should be corrected to read "...Map 6 Lot 54 and part of Lot 53 on the New Bedford..." . The recently recorded ANR plan is not yet reflected on said Assessors map.
8. Please check the most recently revised (March 2021) City of New Bedford Department of Public Infrastructure Construction Standards & Specifications and ascertain the details on the site plan reflect said updates.

Note to Inspectional Services:

Please provide these comments to the applicant so he/she can submit them to their engineer.

ASR-DPI Engrg.

Note to Inspectional Services:

- a. Please provide a copy of the DPI review comments to the applicant at the time they are issued the foundation permit. It is imperative that the applicants receive these comments so that they are aware of the conditions under which their permit was approved.
- b. A plan has been recorded at the Registry of Deeds (PB 182-39) on 3/16/2021 changing the northerly lot line and total area of the subject parcel. The new parcel configuration will most likely retain the same parcel id. number.



Department of Public Infrastructure

Jamie Ponte  
Commissioner

CITY OF NEW BEDFORD  
Jonathan F. Mitchell, Mayor

- Water
- Wastewater
- Highways
- Engineering
- Cemeteries
- Park Maintenance
- Forestry
- Energy

To Whom It May Concern:

18 AVIS ST

I DAN CARDOSO (CHUCKS HOME PROPERTIES) DARTMOUTH MA, being  
(Name) (Mailing Address)

Owner of property located at  
RIVERVIEW TERRACE

Plot 6, Lot 54, hereby agree to allow JASON BAZ  
(Name) (Mailing Address)

42 BUS ST DARTMOUTH, to act on my behalf including affixing my  
(Mailing Address)

signature in securing permit for:

- ☒ Sewer/Drain Service Permits
- ☒ Water Service Permits
- ☒ Driveway Installation Permits
- ☐ Sidewalk Installation Permits

I further agree to conform to, and abide by, All City rules and ask regulations applicable to the permit (s) being applied for:

Name B. C.  
Signature

18 AVIS ST DARTMOUTH MA 02748  
Address

8-6-21 508-617-3778  
Date Telephone Number



CITY OF NEW BEDFORD

City Hall, Room 308, 133 William Street New Bedford, MA 02740 (508) 979-1540



FOUNDATION PERMIT

7/28/2021

No. B-21-1133

MSBC Sect. 111.8 - Any permit issued shall be deemed abandoned and invalid unless the work authorized by it shall have been commenced within six (6) months after its issuance.

FEE PAID \$100.00

This certifies that Jason Braz

owner/contractor has permission to:

ES-6-

RIVERVIEW TER

54

on:

Foundations Only 1-2 Family - 100.00

Providing that the person accepting this permit shall in every respect conform to the terms of application therefore on file in this office; to the provisions of the statute of the Commonwealth adn to the by-laws of the City of New Bedford relating to the inspection, erection, enlarging, altering, raising, moving, repairing, or tearing down of a building.

Permit is issued subject to the following special requirements: (Restrictions)



Wiring Inspector



Plumbing Inspector



Building Inspector

YOUR AREA INSPECTOR IS: James E. Bérube

Tel. (508) 979-1540 Between 8:00am - 9:00am

OCCUPANCY PERMIT REQUIRED BEFORE OCCUPANCY

No Building or Structure shall be used or occupied until the Certificate of Use and Occupancy shall have been issued by the Building Commissioner - MSBC, Sect. 120.1

NOTICE: NOTIFY INSPECTOR 48 HOURS IN ADVANCE OF APPLYING SHEATHING OR LATHING

This Card Must Be Displayed in a Conspicuous Place on the Premises and Not Torn Down or Removed Until Completion of Work

SUBJECT TO MASSACHUSETTS  
STATE BUILDING CODE

Donny J. Brannan Jr.

Plan Review Comments:

: Any changes, alterations, removal, or installation of any plumbing or gas fixture will require a permit

: THIS FOUNDATION WILL REQUIRE AN ELECTRICAL PERMIT FOR A "UFER GROUND" CONCRETE ENCASED ELECTRODE

: 250.52(3).

: ASR-DPI Eng'g.

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: As per C1on the elevation certificate dated 7-27-2021 and stamped by land surveyor Jonathan J. Pink #41787 "A new Elevation Certificate will be required when construction of the building is complete."

: Construction of a new 48'x26' foundation for a raised ranch style home as per site plan submitted