



PERMIT NO.
24982

CITY OF NEW BEDFORD
SEWER AND/OR STORM DRAIN PERMIT

DATE 10-28-21
Expire date: 10-28-22

This certifies that permission is granted to

Alfano, Donald 919 Victoria St (508) 840-0477
Property Owner Address New Bedford MA, 02745 Tel. FKA #197 Segrove St

To connect a sewer and/or storm drain located at Segrove St (NS) 333' E x W. Lotway Front Bivd.

Assessor's Plot 5 Lot 105 to the sewer and/or storm drain in Segrove St 8" sewer pipe Street
cut + capped in 2019 new service connecting to existing service #15099 at 45
property line

To be laid in accordance with the conditions in this application and the City of New Bedford ordinances.
TYPE OF USE: RESIDENTIAL COMMERCIAL INDUSTRIAL FLOW _____ G.P.D.

If applicant other than actual property owner, attach Letter of Authorization from Property Owner.

Name Tel.
Mailing Address: N/A
The Bonded Contractor/Drain Layer authorized to perform this work is:

Name Address Tel.
Type of Pipe Required: Prop. 6" SDR 35 PE Sewer

PERMIT EXPIRES ONE YEAR AFTER DATE OF ISSUE

- Requires separate connections for sewage and storm drain where applicable. Storm water cannot be discharged to a sanitary sewer.
 - All work must be inspected and approved by a D.P.I. inspector before backfilling.
 - If this connection is to be part of a private service shared jointly with other building owners, attach copy of Recorded Joint Maintenance Agreement.
 - Permits can be issued to Industrial and/or Commercial Applicants only upon receipt and approval by the Commissioner of Public Infrastructure of required plans and supplemental information.
 - In addition, a City-issued Industrial User Discharge Permit and/or a Sewer Extension/Connection Permit issued by the Commonwealth of Massachusetts D.E.P. shall be required by the City for Industrial Discharge into the sewer system.
- Industrial User Discharge Permit No. Date

Comm. Mass. Sewer Conn./Ext. Permit No. Date

A Filing and Inspection Fee of \$ 450, plus an Entrance Fee of \$ where applicable, must accompany this application.

Bank# Centralee Check# 127 Date 11-1-2021 Receipt# 3602750

Other requirements:

Connection made to Sewer Part of jointly-shared private line YES NO
Storm Drain

Applicant agrees to abide by the above terms, as well as all pertinent ordinances of the City of New Bedford, and such other special rules as the Commissioner of Public Infrastructure and/or City Engineer may deem necessary

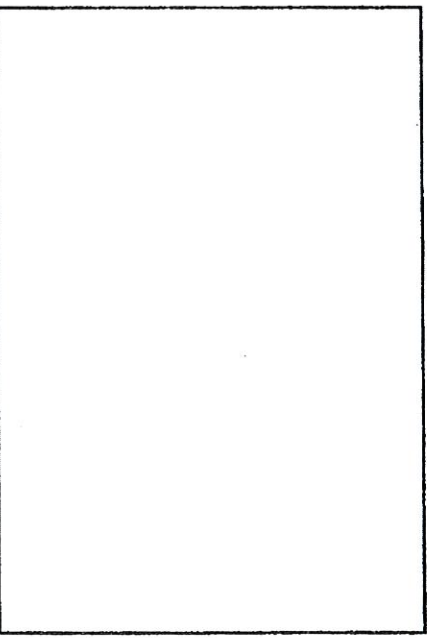
Stephen Croft
Asst. City Engineer Signature of Property Owner or Representative

INSPECTOR'S REPORT

INSPECTED BY: _____

DATE: _____

COMMENTS: _____



APPROVED DISAPPROVED

SKETCH PLAN

SIGNATURE

ASR-DPI Eng'g.

Altino + SCS) 840-0477

RE: TB-20-2595
Seymour St. (N.S.) 333' E. x W. Rodney French Blvd.*
Plot 5 Lot 105

Seal up to
Cura SCS

Reviewed 12/8/2020

PLEASE NOTE:

It is the responsibility of the applicant and the contractors to be familiar with DPI procedures/ regulations and ascertain that all proposed work which falls under DPI jurisdiction, whether shown on the submitted site plan or not, is identified and executed in accordance with City of New Bedford DPI Construction Standards/Specifications. **The Certificate of Occupancy (CO) will not be signed for any work performed that is non-compliant and/or if any of the following conditions are not met.**

The following conditions are to be met by the applicant (being the owner and/or their representative) as part of this permit approval:

- 1.) The revised site plan submitted via e-mail by Kevin J. Silva (which has been uploaded by DPI into the View Permit system under Engineering) titled: "Building Permit Plan, Altino Demelo, Assessors Map 5, Lot 105, Seymour Street (F/K/A #197), New Bedford, MA", having a date of 3/31/2020 (last revised date of 12/7/2020), as prepared by S & K Engineering, LLC and stamped/signed by Kevin J. Silva, P.E. (Civil), was approved as the "final" site plan and conditionally approved by DPI, as follows:
 - a. The plan emailed to DPI is not signed by the surveyor, only by the Civil Engineer. Please make sure that any hardcopies submitted to DPI for permits and to Inspectional Services have both signatures.
 - b. Compliance with the City of New Bedford Stormwater Rules & Regulations/Ordinances is required for all project sites, regardless of size. All sites must implement sediment and erosion control measures and will be subject to the required construction site and sediment control inspections. Any project that involves disturbing 1 or more acres will require an EPA NPDES Construction General Permit (refer to Section 3.1.C of the Stormwater Rules & Regulations).
 - c. The applicant is responsible for ensuring that Inspectional Services (I.S.) is provided with the "final" site plan (or any modifications approved by DPI thereafter) to be placed on file in the View Permit system for reference/review by I.S. and other City Departments.
- 2.) Must provide 1 stamped/signed copies of the "final" site plan approved by DPI for each of the permits being sought (i.e. water, sewer/drain and sidewalk/driveway permits, etc.) for the proposed structure. In addition, a copy of the foundation permit and of the stamped/signed foundation as-built plan must also be submitted.

Please Note: Any representative pulling permits on behalf of the owner must provide DPI with a permission slip. If the property was acquired within the past 6 months, then a copy of the recorded deed showing property ownership must also be provided.

- 3.) Must contact DPI-Engineering to measure for an address number once the front door is framed. The CO will not be signed unless the legal address issued by the City is permanently affixed to, above, or next to, the main door entrance to which it was assigned such that it is highly visible from the street.

Please be advised that any and all future modifications to the site plan that was reviewed/approved for the above project and placed on file at DPI as the "final" site plan must be resubmitted for review/approval if said changes entail work that falls under the jurisdiction of DPI.



20-014 -197
Seymour 12-7-20.pd

THE COMMENT BELOW WAS ALSO ADDED SEPARATELY AS A "PRIVATE COMMENT" TO INSPECTIONAL SERVICES AND IS PART OF THE ABOVE REVIEW:

Note to Inspectional Services:

Please kindly print the DPI comments for the applicant at the time they pick up their foundation permit. It is imperative that the applicants receive these comments when they are issued the foundation permit so that they are aware of the conditions under which it was approved.

ASR-DPI Engrg.

RE: TB-20-2595
Seymour St. (N.S.) 333' E. x W. Rodney French Blvd. *
Plot 5 Lot 105
Reviewed 10/9/2020

The site plan submitted via permit was denied, pending the following revisions:

1. The street view images in Google show 2 existing driveways on said property, one of which has curbing intact. The site plan shows the westernmost one in its entirety, but does not show the easternmost one whatsoever, which shows to on the image as an asphalt driveway all the way up to the granite curbing, which was left intact. Please show the existing driveways in their entirety, label, and provide callouts as to what is proposed to be done with them (i.e. remove pavement, install "X" feet of granite curb, loam and seed area, etc.).
2. The proposed driveway opening must be perpendicular to the edge of pavement/property line on either side. This plan shows curvature within the City layout, along the westerly edge of the proposed driveway apron, which is not allowed. Add a call out for the type of driveway apron (i.e. cement concrete).
3. Add the type of existing curb to the plan. From the street view images in Google, the existing curb appears to be granite vertical curb.

4. Please change the outline of the former house to grayscale (it is difficult to follow the linework) and simplify the wording of the callout (i.e. "Approximate Location of Former Dwelling #197").
5. DPI has some concern in regards to the proposed placement of the infiltration system along the west side of this new dwelling (near the southwest corner of the property) and its proximity to the adjacent property, lot 103. The concern is that this infiltration trench is quite close to the abutter, and in such a small area that it could result in flooding of the adjacent property under overflow conditions.
6. Address discrepancy in pipe size of infiltration system callouts (plan view says 4" SDR 35 and the cross sectional view says 6" PVC Pipe).
7. Site plan must also be stamped/signed by the Professional Engineer (Civil/Structural) responsible for the site development/infiltration system design. The only stamp on the site plan is that of the Professional Land Surveyor for the land survey.
8. * Please do not reference the address of a structure that was razed in the site plan title for a new building. The title should reference the street name and the parcel id. of the now vacant land. If for some reason the address number of the previous structure needs to be referenced in the plan, it must be preceded with "f/k/a". The new dwelling does not automatically assume the address of the structure that was previously on the lot.

The design engineer and/or land surveyor should contact the DPI Engineering Dept. with any questions regarding DPI requirements that need to be met and the construction specifications and standards that are to be implemented. Copies of said specifications and standards are available at DPI.

The following was a private comment to Inspectional Services:

Note to Inspectional Services:

- 1.) Kindly print the comments for applicant/owner or direct them to DPI for a copy.
- 2.) Please do not use the address of the house that was razed (#197) on permitting for the new house to be built, as this causes confusion and the new house is going to be assigned a new address number anyway.



Commonwealth of Massachusetts

CITY OF NEW BEDFORD

City Hall, Room 308, 133 William Street New Bedford, MA 02740 (508) 979-1540



FOUNDATION PERMIT

5/4/2021

No. **B-20-2595**

MSBC Sect. 111.8 - Any permit issued shall be deemed abandoned and invalid unless the work authorized by it shall have been commenced within six (6) months after its issuance.

FEE PAID **\$100.00**

This certifies that Altino Demelo

owner/contractor has permission to: NS SEYMOUR ST

on: Foundations Only 1-2 Family - 100.00

Providing that the person accepting this permit shall in every respect conform to the terms of application therefore on file in this office; to the provisions of the statute of the Commonwealth and to the by-laws of the City of New Bedford relating to the inspection, erection, enlarging, altering, raising, moving, repairing, or tearing down of a building.

Permit is issued subject to the following special requirements: (Restrictions)



Wiring Inspector



Plumbing Inspector



Building Inspector

YOUR AREA INSPECTOR IS: James E. Berube

Tel. (508) 979-1540 Between 8:00am - 9:00am

**NOTICE: NOTIFY INSPECTOR 48 HOURS IN
ADVANCE OF APPLYING SHEATHING OR LATHING**

OCCUPANCY PERMIT REQUIRED BEFORE OCCUPANCY

No Building or Structure shall be used or occupied until the Certificate of Use and Occupancy shall have been issued by the Building Commissioner - MSBC, Sect. 120.1

This Card Must Be Displayed in a Conspicuous Place on the Premises and Not Torn Down or Removed Until Completion of Work

SUBJECT TO MASSACHUSETTS
STATE BUILDING CODE

Danny D. Romanowicz

Building Inspector

Plan Review Comments:



LOTS 81 & 83

80.0'

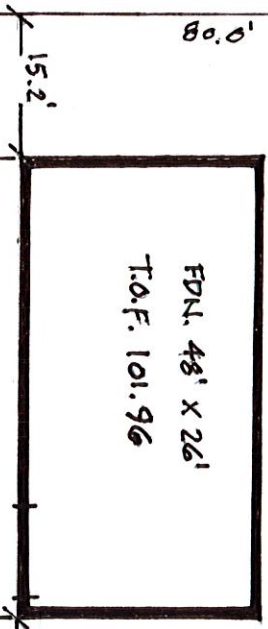
L-103

MAP 5
LOT 105
0.15 AC.

L-109

80.0'

80.0'



15.2'

16.8'

21.0'

21.1'

80.0'

4-232.84

R.L.

PROP. C. CUT

C.L.

SEYMOUR ST.



Leon C. Halle
9/22/21

AS-BUILT FOUNDATION
PREPARED FOR

ALTINO DEMELO
NEW BEDFORD, MASS.
SCALE 1"=20' 9-21-21

LCH.