



11-21-23

PERMIT NO.
24976

CITY OF NEW BEDFORD
SEWER AND/OR STORM DRAIN PERMIT

DATE 8-19-2024
Expire date: 8-19-2022

This certifies that permission is granted to

Jorge Vaccaro 1 Cookie Way S Dart Ma 774 263-1292
Property Owner Address

Tel.

To connect a sewer and/or storm drain located at

Almy St (Ns) 376' W x Arushnet Ave
Assessor's Plot 134 Lot 376, to the sewer and/or storm drain in Existing 2" Force main Street
on Almy St.

To be laid in accordance with the conditions in this application and the City of New Bedford ordinances.

TYPE OF USE: RESIDENTIAL

COMMERCIAL

INDUSTRIAL

FLOW G.P.D.

If applicant other than actual property owner, attach Letter of Authorization from Property Owner.

Name Tel.

Mailing Address

The Bonded Contractor/Drain Layer authorized to perform this work is:

LED CONSTRUCTION 774 263-2197

Name Address Tel.

Type of Pipe Required: 1/2 SDR

PERMIT EXPIRES ONE YEAR AFTER DATE OF ISSUE

- Requires separate connections for sewage and storm drain where applicable. Storm water cannot be discharged to a sanitary sewer.
- All work must be inspected and approved by a D.P.I. inspector before backfilling.
- If this connection is to be part of a private service shared jointly with other building owners, attach copy of Recorded Joint Maintenance Agreement.
- Permits can be issued to Industrial and/or Commercial Applicants only upon receipt and approval by the Commissioner of Public Infrastructure of required plans and supplemental information.
- In addition, a City-issued Industrial User Discharge Permit and/or a Sewer Extension/Connection Permit issued by the Commonwealth of Massachusetts D.E.P. shall be required by the City for Industrial Discharge into the sewer system.
- Industrial User Discharge Permit No. Date

Comm. Mass. Sewer Conn./Ext. Permit No. Date
A Filing and Inspection Fee of \$ 1450 plus an Entrance Fee of \$ where applicable, must accompany this application.

Bank# CHITERS BANK Check# 1450 Date Receipt#

Other requirements: INSTALL PUMP F-ON PUMP

Connection made to
☒ Sewer ☐ Storm Drain

Part of jointly-shared private line YES ☒ NO

Applicant agrees to abide by the above terms, as well as all pertinent ordinances of the City of New Bedford, and such other special rules as the Commissioner of Public Infrastructure and/or City Engineer may deem necessary

John T. Dyre
Asst. City Engineer

Signature of Property Owner or Representative

INSPECTOR'S REPORT

INSPECTED BY:

DATE:

COMMENTS:

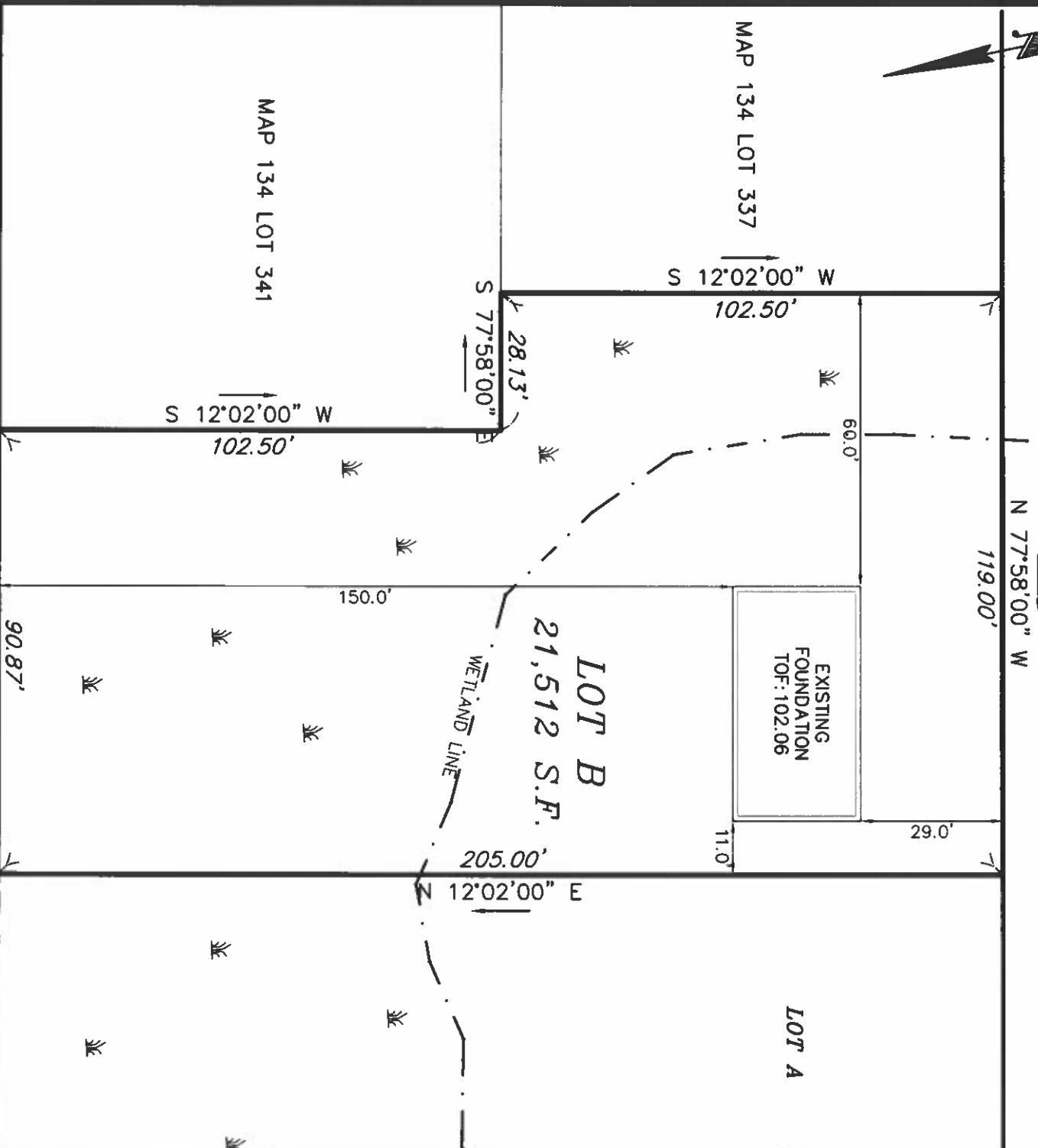
APPROVED DISAPPROVED

SKETCH PLAN

SIGNATURE

ELMWOOD STREET

ALMY (PUBLIC - 50' WIDE) STREET

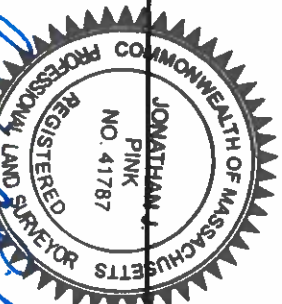


EVERETT (B OF S - 50' WIDE) STREET

AS-BUILT FOUNDATION PLAN

ALMY STREET

NEW BEDFORD, MA



I CERTIFY THAT THE FOUNDATION SHOWN HEREON, AS BUILT, CONFORMS TO THE CITY OF NEW BEDFORD ZONING SETBACK REQUIREMENTS.

PROFESSIONAL LAND SURVEYOR DATE



ZENITH LAND SURVEYORS, LLC
1162 ROCKDALE AVENUE
NEW BEDFORD, MA 02740
(508) 995-0100

DATE: AUGUST 19, 2021

SCALE: 1" = 30'

ELMWOOD STREET

ALMY (PUBLIC - 50' WIDE) STREET

N 77°58'00" W
119.00'

S 12°02'00" W
102.50'

EXISTING
FOUNDATION
TOF: 102.06

LOT A

LOT B
21,512 S.F.

205.00'
12°02'00" E

S 77°58'00" E
28.13'

WETLAND LINE

150.0'

S 12°02'00" W
102.50'

90.87'

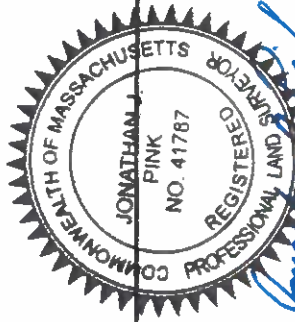
S 77°58'00" E

EVERETT (B OF S - 50' WIDE) STREET

AS-BUILT FOUNDATION PLAN

ALMY STREET

NEW BEDFORD, MA



I CERTIFY THAT THE FOUNDATION SHOWN
HEREON, AS BUILT, CONFORMS TO THE CITY
OF NEW BEDFORD ZONING SETBACK
REQUIREMENTS.

Jonathan J. Pank 8-19-21

DATE: AUGUST 19, 2021

SCALE: 1"= 30'



ZENITH LAND SURVEYORS, LLC
1162 ROCKDALE AVENUE
NEW BEDFORD, MA 02740
(508) 995-0100

PROFESSIONAL LAND SURVEYOR DATE



Commonwealth of Massachusetts

City of New Bedford

133 William Street New Bedford, MA 02740



SEWER PERMIT

Date: 9/9/2021 No. WW-21-53

Sewer Connection Fee: \$450.00

Pipe Size: 0.00
Trench Length: 0.00

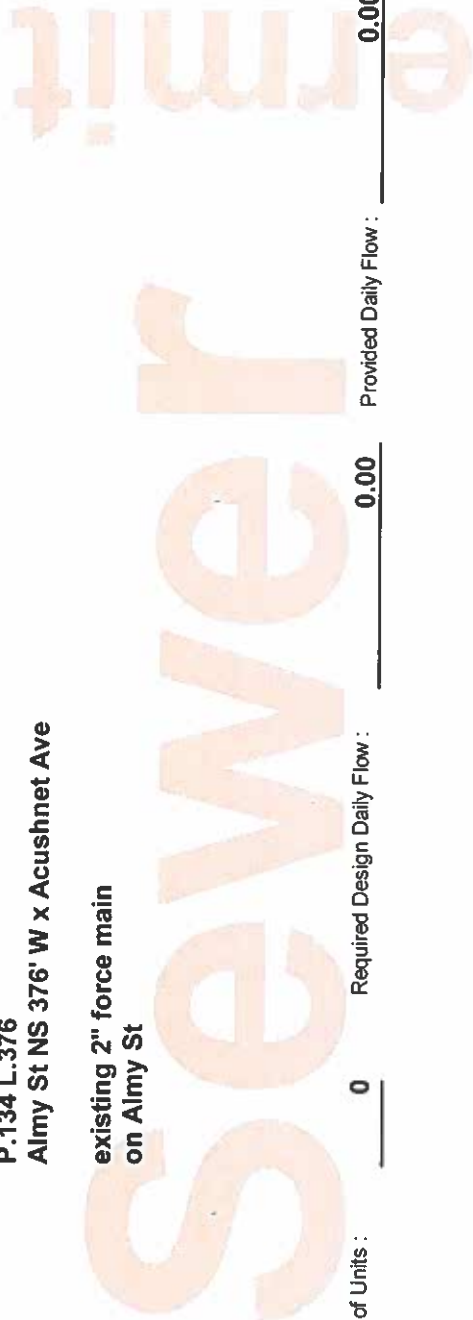
Service Location: _____ Owner Name: VERISSIMO JORGE

Type of Occupancy: Residential

Type of Work: Sewer - New Sewer Service

Work Description: Sewer # 24976

P.134 L.376
Almy St NS 376' W x Acushnet Ave
existing 2" force main
on Almy St



No. of Units : 0 Required Design Daily Flow : 0.00 Provided Daily Flow : 0.00

The undersigned petitions you to grant permission to ENTER INTO THE MAIN SEWER and, if such permission is granted, hereby agrees to the following:

1. To abide by the conditions and regulations imposed by the Commissioner of Public Works by statute or by ordinance now in force, or as amended from time to time.
2. That the connection of said sewer with the main sewer shall be inspected by an employee of the department of Public Works or by a designated agent of the Town before burial of said connection.
3. That the work shall at all times be under the direction and control of the Commissioner of Public Works or his authorized agent, and that any expense incurred by the Town shall be charged to the permittee, and said permittee agrees to reimburse the Town for said expense.

Installing Company Name: DEMETRI COSTA License Type: Hoisting Engineer
Address: 415 LAKE RD City/Town/State: TIVERTON RI

Call (781) 942-9077 For Inspection



CITY OF NEW BEDFORD

City Hall, Room 308, 133 William Street New Bedford, MA 02740 (508) 979-1540



FOUNDATION PERMIT

8/4/2021

FEE PAID \$100.00

MSBC Sect. 111.8 - Any permit issued shall be deemed abandoned and invalid unless the work authorized by it shall have been commenced within six (6) months after its issuance.

This certifies that Jason Braz

owner/contractor has permission to:

NS-

ALMY ST

134-

376

Foundations Only 1-2 Family - 100.00

Providing that the person accepting this permit shall in every respect conform to the terms of application therefore on file in this office; to the provisions of the statute of the Commonwealth and to the by-laws of the City of New Bedford relating to the inspection, erection, enlarging, altering, raising, moving, repairing, or tearing down of a building.

Permit is issued subject to the following special requirements: (Restrictions)

Wiring Inspector



Plumbing Inspector



Building Inspector

YOUR AREA INSPECTOR IS: Thomas Welch

Tel. (508) 979-1540 Between 8:00am - 9:00am

NOTICE: NOTIFY INSPECTOR 48 HOURS IN ADVANCE OF APPLYING SHEATHING OR LATHING

OCCUPANCY PERMIT REQUIRED BEFORE OCCUPANCY
No Building or Structure shall be used or occupied until the Certificate of Use and Occupancy shall have been issued by the Building Commissioner - MSBC, Sect. 120.1

This Card Must Be Displayed in a Conspicuous Place on the Premises and Not Torn Down or Removed Until Completion of Work

SUBJECT TO MASSACHUSETTS
STATE BUILDING CODE

Donny J. Finnerty Jr.

RE: TB-20-2046
Almy St. (N.S.) 376' W. x Acushnet Ave.
Plot 134 Lot 376*
Reviewed 7/30/2021

PLEASE NOTE:

It is the responsibility of the applicant and the contractors to be familiar with DPI procedures/ regulations and ascertain that all proposed work falls under DPI jurisdiction, whether shown on the submitted site plan or not, is identified and executed in accordance with City of New Bedford DPI Construction Standards/Specifications. The Certificate of Occupancy (CO) will not be signed for any work performed that is non-compliant and/or if any of the following conditions are not met. The following conditions are to be met by the applicant (being the owner and/or their representative) as part of this permit approval:

1.) The site plan submitted via View Permit, titled: "Building Permit Plan, Assessors Map 134 Part of Lot 376, Almy Street, New Bedford, Massachusetts", having a date of 3/29/2021 (last revised date of 5/14/2021), as prepared by Zenith Consulting Engineers, LLC and stamped/signed by Jamie L. Bissonnette, P.E. (Civil), was approved as the "final" site plan and conditionally approved by DPI, as follows:
a. Compliance with the City of New Bedford Stormwater Rules & Regulations/Ordinances is required for all project sites, regardless of size. All sites must implement sediment and erosion control measures and will be subject to the required construction site and sediment control inspections. Any project that involves disturbing 1 or more acres will require an EPA NPDES Construction General Permit (refer to Section 3.1.C of the Stormwater Rules & Regulations).
b. There is a note on the plan regarding the moratorium which is in effect until mid-September of 2021. DPI permits are not to be issued prior to the moratorium expiration date unless the property owner agrees to assume the responsibility/cost of paving the entire area from curb to curb, and 2' beyond the easternmost and westernmost proposed utility pipes. (Note there is no gas in Almy St.)
c. *An ANR plan was recorded (PB 182-30) for this subject property, and the new parcel id for the "Lot B" shown on this plan is anticipated to be Map 134/Lot 376.
d. The applicant is responsible for ensuring that Inspectional Services is provided with the "final" site plan (or any modifications approved by DPI thereafter) to be placed on file in the View Permit system.

2.) Must provide 1 stamped/signed copy of the "final" site plan approved by DPI for the permits being sought (i.e., water, sewer/storm and sidewalk/driveway permits) for the proposed structure. In addition, a copy of the foundation permit and of the stamped/signed foundation as-built plan must also be submitted.

Please Note: Any representative pulling permits on behalf of the owner must provide DPI with a permission slip. Also, if the property was acquired within the past 6 months, a copy of the recorded deed showing property ownership is to be submitted.
3.) Must contact DPI-Engineering to measure for an address number once the front door is framed. The CO will not be signed unless the legal address issued by the City is permanently affixed to, above, or next to, the main door entrance to which it was assigned, such that it is highly visible from the street.

Please be advised that any and all future modifications to the site plan that was reviewed/approved for the above project and placed on file at DPI as the "final" site plan must be resubmitted for review/approval if said changes entail work that falls under the jurisdiction of DPI.

: Construct a 46' x28' foundation as per plan and site plan submitted

an Review Comments: :

- : Per ANR instructions and approval, four (4) copies of the signed and recorded ANR Plan were to be submitted to the Planning Office.
See attached Disposition Form
- : MASS CHECKLIST REC.
- : MASS. CHECKLIST FOR COMPLIANCE IS REQ.
- : NOTE: FOUNDATION,, WILL NEED ELECTRICIAN AND ELECTRICAL PERMIT ATTACHED TO THIS FOUNDATION WORK,, AS WELL AS A UFER GROUND SYSTEM TO BE INSTALL TO THE FOUNDATION REBAR AND THE END LEFT AT THE ELECTRICAL SERVICE AREA FOR GROUNDING AND BONDING PURPOSES LATER.
- : 1.. Water service to be perpendicular (90 degrees) from main to inside building.
- : 2. Sewer service to be 10 ft away from water service.
- : 3. Water curb stop (shut-off) to be 1.5ft from face of curb/pavement.
- : 4. Install water meter at point of entry to building