



PERMIT NO.  
24946

CITY OF NEW BEDFORD  
SEWER AND/OR STORM DRAIN PERMIT

DATE 06-10-2021  
Expire date: 06-10-2022

This certifies that permission is granted to

Hammett, LLC Limited Partnership 1 Livingston Mall, Suite 500, 617-279-7335  
Property Owner Address Boston, MA 02108 Tel. \_\_\_\_\_

To connect a sewer and/or storm drain located at 170 Riverside Ave  
Assessor's Plot 105 Lot 181, to the sewer and/or storm drain in Riverside Ave Street

21 Seider Main  
To be laid in accordance with the conditions in this application and the City of New Bedford ordinances.  
TYPE OF USE: RESIDENTIAL COMMERCIAL INDUSTRIAL FLOW \_\_\_\_\_ G.P.D.

If applicant other than actual property owner, attach Letter of Authorization from Property Owner.

Name Daniel Corleto Tel. \_\_\_\_\_  
Mailing Address 300 Dawport Ave, Canton, MA 02021  
The Bonded Contractor/Drain Layer authorized to perform this work is:  
Mc Construction 383 Souper St. Unit #18, Duxbury, MA 01946, 714-263-2197  
Name \_\_\_\_\_ Address \_\_\_\_\_ Tel. \_\_\_\_\_  
Type of Pipe Required: 8" SDR 35

PERMIT EXPIRES ONE YEAR AFTER DATE OF ISSUE

- Requires separate connections for sewage and storm drain where applicable. Storm water cannot be discharged to a sanitary sewer.
  - All work must be inspected and approved by a D.P.I. inspector before backfilling.
  - If this connection is to be part of a private service shared jointly with other building owners, attach copy of Recorded Joint Maintenance Agreement.
  - Permits can be issued to Industrial and/or Commercial Applicants only upon receipt and approval by the Commissioner of Public Infrastructure of required plans and supplemental information.
  - In addition, a City-issued Industrial User Discharge Permit and/or a Sewer Extension/Connection Permit issued by the Commonwealth of Massachusetts D.E.P. shall be required by the City for Industrial Discharge into the sewer system.
- Industrial User Discharge Permit No. \_\_\_\_\_ Date \_\_\_\_\_

Comm. Mass. Sewer Conn./Ext. Permit No. \_\_\_\_\_ Date \_\_\_\_\_  
A Filing and Inspection Fee of \$ 450, plus an Entrance Fee of \$ \_\_\_\_\_ where applicable, must accompany this application.

Bank# Bank of America Check# 140079 Date 10-20-2021 Receipt# 3376791  
Other requirements: Repeating 6" CI Sewer Service # 24363-2013

Connection made to Sewer Part of jointly-shared private line YES NO  
Storm Drain

Applicant agrees to abide by the above terms, as well as all pertinent ordinances of the City of New Bedford, and such other special rules as the Commissioner of Public Infrastructure and/or City Engineer may deem necessary

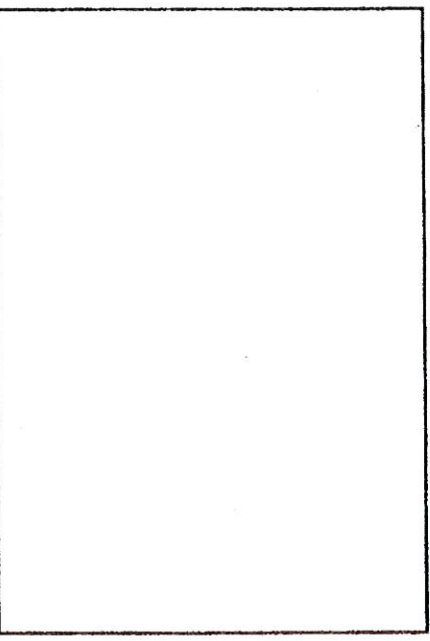
Stephen Caputo \* See attached for signature  
Asst. City Engineer Signature of Property Owner or Representative

INSPECTOR'S REPORT

INSPECTED BY: \_\_\_\_\_

DATE: \_\_\_\_\_

COMMENTS: \_\_\_\_\_



APPROVED DISAPPROVED

SKETCH PLAN

SIGNATURE







# LIGHTHOUSE MASONRY, INC

140079

Vendor	CITYNEWB	City of New Bedford	Check 140079	06/08/21
Tax No	Invoice No	Inv Date	Job/Description	Discount
87629	Sewer Permit	06/08/21	Sewer Permit	

450.00	
0.00	
450.00	



**LIGHTHOUSE MASONRY, INC.**  
150 John Veriente Blvd. | New Bedford, MA 02745  
508-995-0192 | F. 508-207-1147



5-13/110

ESB® Check Fraud  
Protection for Business

140079

140079

\*\*\*\*\*FOUR HUNDRED FIFTY DOLLARS AND 00 CENTS\*\*\*\*\*

DATE

06/08/21

AMOUNT

\*\*\*\*\*450.00

PAY  
TO THE  
ORDER  
OF  
CITY OF NEW BEDFORD

*[Signature]*  
AUTHORIZED SIGNATURE

AUTHORIZED SIGNATURE

MP

Security features. Details on back.

⑈ 140079 ⑈ ⑈ 01000138⑈ 009467886264⑈

## LIGHTHOUSE MASONRY, INC

140079

Vendor	CITYNEWB
Tax No	Invoice
87629	Sewer Permit

MISCELLANEOUS PAYMENT RECPT#: 3376791  
City of New Bedford  
133 William St.  
New Bedford MA 02740

DATE: 06/10/21 TIME: 08:23  
CLERK: a450mmb DEPT:  
CUSTOMER#: 0

COMMENT:

CHG: DPISW DPI SEWER PERMI 450.00

REVENUE:  
1 63906000 422185 450.00  
Sewer Permit Fee

CASH:  
TWO5 101009 450.00  
Cash Treasurer Dep W

AMOUNT PAID: 450.00

PAID BY: LIGHTHOUSE MASONRY,  
PAYMENT METH: CHECK  
MR140079

REFERENCE:

AMT TENDERED: 450.00  
AMT APPLIED: 450.00  
CHANGE: .00

Check Amount	
450.00	
450.00	





**MANOMET II LIMITED PARTNERSHIP**

**PRESIDENT'S CERTIFICATE**

The undersigned, Gilbert J. Winn, does hereby certify that he is the duly elected, qualified and acting President of WDP Manager Corp. (the "Corporation"), manager of Manomet II GP LLC, general partner of Manomet II Limited Partnership (the "Partnership") and is authorized to sign on behalf of the Partnership.

**IN WITNESS WHEREOF**, the undersigned has signed this President's Certificate and affixed the corporate seal of the Corporation as of June \_\_, 2021.



Gilbert J. Winn President

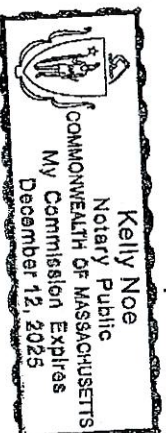
**COMMONWEALTH OF MASSACHUSETTS**

Suffolk, ss.

On this 1 day of June, 2021, before me, the undersigned notary public, personally appeared Gilbert J. Winn, President of WDP Manager Corp. manager of Manomet II GP LLC, general partner of Manomet II Limited Partnership, proved to me through satisfactory evidence of identification, which was personal knowledge, to be the person whose name is signed on the preceding document and acknowledged to me that he signed it voluntarily for its stated purpose.



Notary Public  
My Commission Expires:





Commonwealth of Massachusetts

# CITY OF NEW BEDFORD

City Hall, Room 308, 133 William Street New Bedford, MA 02740 (508) 979-1540



1/14/2021

No. B-20-1788

MSBC Sect. 110.14 - Any permit issued shall be deemed abandoned and invalid unless the work authorized by it shall have been commenced within six (6) months after its issuance. FEE PAID: \$51,020.00

## BUILDING PERMIT

This certifies that Timothy Forde

Contractor Lic. # 052358

ParcelID 105-135

owner/contractor has permission to: Alteration Multi-Family - 200.00

on: 170 RIVERSIDE AVE

Providing that the person accepting this permit shall in every respect conform to the terms of application therefore on file in this office; to the provisions of the statute of the Commonwealth and to the by-laws of the City of New Bedford relating to the inspection, erection, enlarging, altering, raising, moving, repairing, or tearing down of a building.

Permit is issued subject to the following special requirements: (Restrictions)

### CITY DEPARTMENT/COMMISSION COMMENTS

The following department/commission has expressed concern about the issuance of this : 71 UNITS ARE BEING PROPOSED AS PART OF THIS PROJECT permit. You are advised to contact that agency and resolve this matter.

Department Commission: \_\_\_\_\_

Approved for DDR

### BUILDING DEPARTMENT COMMENTS

YOUR AREA INSPECTOR IS: Matthew Silva

Tel. (508) 979-1540 Between 8:00am - 9:00am

### NOTICE: NOTIFY INSPECTOR 48 HOURS IN ADVANCE OF APPLYING SHEATHING OR LATHING

**OCCUPANCY PERMIT REQUIRED BEFORE OCCUPANCY**  
No Building or Structure shall be used or occupied until the Certificate of Use and Occupancy shall have been issued by the Building Commissioner - MSBC, Sect. 120.1

**This Card Must Be Displayed in a Conspicuous Place on the Premises and Not Torn Down or Removed Until Completion of Work**

SUBJECT TO MASSACHUSETTS  
STATE BUILDING CODE

*Danny R. Bonanotte*

Building Commissioner

Plan Review Comments: :

: Per ZBA SP decision and general conditions therein.



: the parking lot requires a Notice of Intent be filed with the Conservation Commission.

: NOTE: REUSE OF A MILL BUILDING FOR MULTI-FAMILY HOUSING,,, WILL NEED ELECTRICIAN AND ELECTRICAL PERMIT ATTACHED TO THIS MILL BUILDING WORK.

: Any changes, alterations, removal, or installation of any plumbing or gas fixture will require a permit

: 1-8-2021

S. Crampton

Refer to Engineering comments for requirements to be met prior to CO sign off.

: ASR-DPI Engrg.

RE: TB-20-1788

Riverside Avenue (194 Purported Address) \*

Renovations to Existing Building – 71 (??? Conflicting Info. in V.P.) Unit Apartment Bldg. for Riverside Lofts L.P. (Owner) c/o Winn Co.

Plot 105 Lots 206 & 181 \*\*

Reviewed 7/20/2020

The site plan submitted in View Permit by Farland Corp. is dated 11/15/2018 and is a site plan that was developed for the purpose of special permit review by ZBA and Planning Board. The remainder of the plans are Architectural in nature. There is no site plan depicting the proposed work that falls under DPI jurisdiction, nor any work related to complying with City of New Bedford Stormwater Regulations/Ordinances. Therefore, the above building permit is being denied by DPI, pending the following:

- 1.) Before construction commences, applicant must submit a paper set (to scale) of the most recent site plan for review by DPI. Site plan must depict "current" existing conditions, and all proposed work which falls under DPI jurisdiction. The proposed work is to be shown in accordance with City of New Bedford DPI Construction Standards/Specifications. It must also include proposed work to bring said site into compliance with City of New Bedford Stormwater Regulations/Ordinances.
- 2.) Must schedule a preconstruction meeting with DPI to review any comments/revisions to the submitted site plan and discuss DPI protocol. DPI permits will not be issued until all requested plan revisions discussed during the preconstruction meeting have been addressed and resubmitted to DPI for final approval. It is the applicant's responsibility to provide Inspectional Services with a copy of the DPI approved "final" site plan to be placed in the View Permit system for record/review by other Departments.
- 3.) \*Must contact engineering to verify the address number that corresponds to the door which is being designated as the main entrance of the section of building undergoing renovation. If it is found that the address number on file with Engineering does not reflect the correct number for the door that is to be utilized as the main entrance, then a new number will have to be assigned by Engineering.
- 4.) \*\*Must provide a copy of the recorded plan that depicts the combination of the above lots for a new lot number to be assigned by Engineering. The Certificate of Occupancy will not be signed by DPI until this matter has been addressed to the satisfaction of Inspectional Services and this department.
- 5.) Please note that the northerly portion of the building being proposed for renovation under the above permit is on Plot 105/Lots 206 & 181 and is under a different ownership than the previously renovated southerly section. The portion of the building that was previously renovated is the southerly section on Plot 105/Lot 135, which has a main entrance of 170 Riverside Ave. They will not be allowed to utilize the address for the main entrance known as 170 Riverside Ave. nor any utilities belonging to 170 Riverside Ave unless they can provide proof of having recorded agreements/cross easements.



: TB-20-1788  
Renovations to Existing Mill Building –Apartment Bldg. for Riverside Lofts L.P. (Owner) c/o Winn Co.  
Plot 105 Lots 206 & 181 \*\*

Reviewed 1/7/2021

Reviewed: S. Crampton

Conditionally approved pending the following:

The site plan submitted in View Permit by Farland Corp. is dated 11/15/2018 and is a site plan that was developed for the purpose of special permit review by ZBA and Planning Board. Additional site plan titled "SK-4, Riverside Avenue, Map 105 Lot 206" prepared by Farland Corp dated 12/22/20 was provided directly to DPL. Review of both submittals with the following conditions to be met prior to release of utility permits and/or Certificate of Occupancy.

- 1.) Before construction commences, applicant must submit a paper set (to scale) of the most recent site plan for review by DPL. Site plan must depict "current" existing conditions, and all proposed work which falls under DPL jurisdiction. Any field inspections for verification of use of existing utilities must be completed prior to permit application submittals to ensure site plan is an accurate depiction of proposed work to be inspected by DPL staff.
- 2.) Alterations to the existing roof is subject to compliance of the City's Stormwater Rules and Regulations. Site Plan must be revised to include roof runoff mitigation measures.
- 3.) Developer must file permits with DPL for proposed domestic water service and sewer service connections into Riverside Ave.
- 4.) Applicant must provide a copy of the recorded easement that confirms use of abutting parcel for purposes such as shared use utility agreement and amenity and common area easements.
- 5.) This building will not be assigned an address number. DPL's engineering division can only assign address numbers to the main entrance of a building. The previously mentioned easement grants use of passage to this project's access into the building and is to be accepted as a shared space with Phase I. Any doors remaining/renovated under this project will be viewed as Emergency Exits only.

\*It is the applicant's responsibility to provide Inspectional Services with a copy of the DPL approved "final" site plan to be placed in the View Permit system for record/review by other Departments.



: TB-20-1788  
Renovations to Existing Mill Building –Apartment Bldg. for Riverside Lofts L.P. (Owner) c/o Winn Co.  
Plot 105 Lots 206

Reviewed 2/4/2021

Reviewed By: S. Crampton

Conditionally approved pending the following:

Additional site plan titled "Site Plan, 170 Riverside Avenue, Map 105 Lot 206" prepared by Farland Corp dated 1/19/21 was provided directly to DPl. Review of the submittals with the following conditions to be met prior to release of utility permits and/or Certificate of Occupancy.

- 1) Developer must file permits with DPl for proposed domestic water, sewer and stormwater service connections into Riverside Ave and rear parking lot.
- 2) Applicant must provide a copy of the recorded easement that confirms use of abutting parcel for purposes such as shared use utility agreement and amenity and common area easements.

\*It is the applicant's responsibility to provide Inspectional Services with a copy of the DPl approved "final" site plan to be placed in the View Permit system for record/review by other Departments.