

Note a valid permit

until signed by DPl engineering. 05.03.2021 - AJ



PERMIT NO.
24934

CITY OF NEW BEDFORD
SEWER AND/OR STORM DRAIN PERMIT

DATE _____

This certifies that permission is granted to

Property Owner Martha Wolcott Address 5 Hayes St E Weston, MA Tel. 508-889-9725

To connect a sewer and/or storm drain located at 178 Jive St to the sewer and/or storm drain in 12 Main On Sassaguna Ave Street

To be laid in accordance with the conditions in this application and the City of New Bedford ordinances.
TYPE OF USE: RESIDENTIAL COMMERCIAL INDUSTRIAL FLOW _____ G.P.D.

If applicant other than actual property owner, attach Letter of Authorization from Property Owner.

Name JB. Langdon Tel. 508-984-1448
Mailing Address 180 Reed Rd Unit A Dartmouth, MA
Name JB Langdon Address 180 Reed Rd Unit A Tel. 508-984-1448
Type of Pipe Required: 1" PVC SDR 35

PERMIT EXPIRES ONE YEAR AFTER DATE OF ISSUE

- Requires separate connections for sewage and storm drain where applicable. Storm water cannot be discharged to a sanitary sewer.
 - All work must be inspected and approved by a D.P.I. inspector before backfilling.
 - If this connection is to be part of a private service shared jointly with other building owners, attach copy of Recorded Joint Maintenance Agreement.
 - Permits can be issued to Industrial and/or Commercial Applicants only upon receipt and approval by the Commissioner of Public Infrastructure of required plans and supplemental information.
 - In addition, a City-issued Industrial User Discharge Permit and/or a Sewer Extension/Connection Permit issued by the Commonwealth of Massachusetts D.E.P. shall be required by the City for Industrial Discharge into the sewer system.
- Industrial User Discharge Permit No. 21-03A Date 1-29-2021
Comm. Mass. Sewer Conn./Ext. Permit No. 21-03A Date 1-29-2021
A Filing and Inspection Fee of \$ 450, plus an Entrance Fee of \$ 25 where applicable, must accompany this application.

Bank# Bayeast Bank Check# 41331 Date 4/27/2021 Receipt# _____

Other requirements: _____

Connection made to Sewer Part of jointly-shared private line YES NO

Storm Drain
Applicant agrees to abide by the above terms, as well as all pertinent ordinances of the City of New Bedford, and such other special rules as the Commissioner of Public Infrastructure and/or City Engineer may deem necessary
City Engineer _____
* Signature of Property Owner or Representative

INSPECTOR'S REPORT

INSPECTED BY: _____
DATE: _____
COMMENTS: _____
APPROVED _____ DISAPPROVED _____

SIGNATURE _____

SKETCH PLAN



PERMIT NO.
24934

CITY OF NEW BEDFORD
SEWER AND/OR STORM DRAIN PERMIT

DATE 05.05.2021
FD
05.05.2022

This certifies that permission is granted to

Property Owner Mark L. Wilson Address 5 Haves St E Tafton, MA Tel. 508-889-9725

To connect a sewer and/or storm drain located at 1078 June St " " to the sewer and/or storm drain in 12 main on Sassaguin Ave. Street

Assessor's Plot 134A Lot 126

To be laid in accordance with the conditions in this application and the City of New Bedford ordinances.

TYPE OF USE: RESIDENTIAL COMMERCIAL INDUSTRIAL FLOW G.P.D.

If applicant other than actual property owner, attach Letter of Authorization from Property Owner

Name JB. Langan Tel. 508-484-1468
Mailing Address 180 Reed Rd Unit A Dartmouth, MA
The Bonded Contractor/Drain Layer authorized to perform this work is:
JB Langan 180 Reed Rd Unit A 508 484 1468

Name JB Langan Address 180 Reed Rd Unit A Tel. 508 484 1468
Type of Pipe Required: 12" PVC SDR 35

PERMIT EXPIRES ONE YEAR AFTER DATE OF ISSUE

- Requires separate connections for sewage and storm drain where applicable. Storm water cannot be discharged to a sanitary sewer.
 - All work must be inspected and approved by a D.P.I. inspector before backfilling.
 - If this connection is to be part of a private service shared jointly with other building owners, attach copy of Recorded Joint Maintenance Agreement.
 - Permits can be issued to Industrial and/or Commercial Applicants only upon receipt and approval by the Commissioner of Public Infrastructure of required plans and supplemental information.
 - In addition, a City-issued Industrial User Discharge Permit and/or a Sewer Extension/Connection Permit issued by the Commonwealth of Massachusetts D.E.P. shall be required by the City for Industrial Discharge into the sewer system.
- Industrial User Discharge Permit No. 21-0357 Date 1-29-2021
*abandonment of septic system 21-03A Date 1-29-2021
Comm. Mass. Sewer Conn/Ext. Permit No. 21-03A where applicable, must accompany this application.
A Filing and Inspection Fee of \$ 1500, plus an Entrance Fee of \$ 250

Bank# Bayeast Bank Check# 4737 Date 4/27/2021 Receipt# 3321641

Other requirements:

Connection made to Sewer Part of jointly-shared private line YES (NO)
Storm Drain

Applicant agrees to abide by the above terms, as well as all pertinent ordinances of the City of New Bedford, and such other special rules as the Commissioner of Public Infrastructure and/or City Engineer may deem necessary

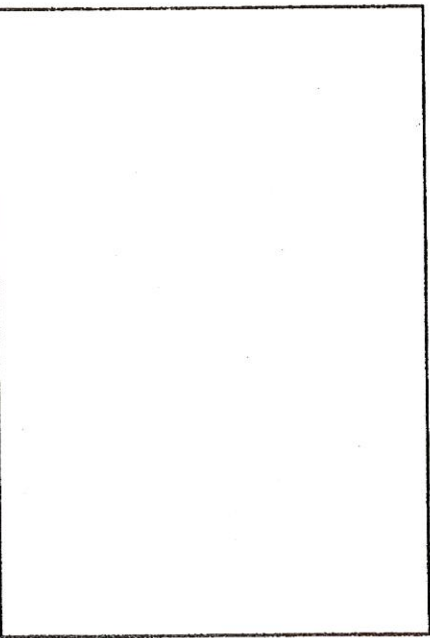
Stephen Carpenter *
City Engineer Signature of Property Owner or Representative

INSPECTOR'S REPORT

INSPECTED BY: _____
DATE: _____
COMMENTS: _____

APPROVED DISAPPROVED

SIGNATURE



SKETCH PLAN

47337

J B LANAGAN & COMPANY INC

980 REED RD. UNIT A
N DARTMOUTH, MA 02747
(508) 984-1668

BAY COAST BANK

53-7223/2113

4/27/2021

PAY TO THE
ORDER OF City of New Bedford

\$ **450.00

Four Hundred Fifty and 00/100 *****

DOLLARS

City of New Bedford
Dept of Public Infrastructure
1105 Shawmut Avenue
New Bedford, MA 02746



J.B. Lanagan
AUTHORIZED SIGNATURE

MEMO

1240 - Sewer

⑈047337⑈ ⑆211372239⑆ 840295233⑈

J B LANAGAN & COMPANY INC

City of New Bedford

1240 - Sewer

4/27/2021

450.00

47337

MISC. LAEIOUS PAYMENT REOPT#: 3027641
City of New Bedford
133 William St.
New Bedford MA 02740

DATE: 05/03/21 TIME: 12:24
CLERK: a450mmb DEPT:
CUSTOMER#: 0

COMMENT:

450.00

CHK: DPISW DPI SEWER PERMI 450.00

REVENUE:

1 63906000 422185 450.00

Sewer Permit Fee

CASH:

TW05 101009 450.00

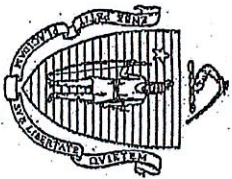
Cash Treasurer Dep W

AMOUNT PAID: 450.00

PAID BY: JB LANAGAN & COMPANY
PAYMENT METH: CHECK
REFERENCE: MR47337

AMT TENDERED: 450.00
AMT APPLIED: 450.00
CHANGE: .00

BAYCOAST BANK 1240 - Sewer



The Commonwealth of Massachusetts
Department of Industrial Accidents
Office of Investigations
600 Washington Street
Boston, MA 02111
www.mass.gov/dia

Workers' Compensation Insurance Affidavit: General Businesses

Applicant Information

Please Print Legibly

Business/Organization Name: J.B. Lavalan & Co Inc.

Address: 980 Reed Rd Unit A

City/State/Zip: Dartmouth, MA 02747 Phone #: 508-984-1668

Are you an employer? Check the appropriate box:

1. ☒ I am an employer with 40 employees (full and/or part-time).*
2. ☐ I am a sole proprietor or partnership and have no employees working for me in any capacity. [No workers' comp. insurance required]
3. ☐ We are a corporation and its officers have exercised their right of exemption per c. 152, §1(4), and we have no employees. [No workers' comp. insurance required]**
4. ☐ We are a non-profit organization, staffed by volunteers, with no employees. [No workers' comp. insurance req.]

Business Type (required):

5. ☐ Retail
6. ☐ Restaurant/Bar/Bating Establishment
7. ☐ Office and/or Sales (incl. real estate, auto, etc.)
8. ☐ Non-profit
9. ☐ Entertainment
10. ☐ Manufacturing
11. ☐ Health Care
12. ☐ Other _____

*Any applicant that checks box #1 must also fill out the section below showing their workers' compensation policy information.

**If the corporate officers have exempted themselves, but the corporation has other employees, a workers' compensation policy is required and such an organization should check box #1.

I am an employer that is providing workers' compensation insurance for my employees. Below is the policy information.

Insurance Company Name: National Liability + Fire

Insurer's Address: P.O. Box 785100

City/State/Zip: Philadelphia, PA 19178-5100

Policy # or Self-ins. Lic. # V9WC267334 Expiration Date: 1/21/2022

Attach a copy of the workers' compensation policy declaration page (showing the policy number and expiration date). Failure to secure coverage as required under Section 25A of MGL c. 152 can lead to the imposition of criminal penalties of a fine up to \$1,500.00 and/or one-year imprisonment, as well as civil penalties in the form of a STOP WORK ORDER and a fine of up to \$250.00 a day against the violator. Be advised that a copy of this statement may be forwarded to the Office of Investigations of the DIA for insurance coverage verification.

I do hereby certify under the pains and penalties of perjury that the information provided above is true and correct.

Signature: _____

Date: Feb. 3, 2021

Phone #: 508-984-1668

Official use only. Do not write in this area, to be completed by city or town official.

City or Town: _____

Permit/License # _____

Issuing Authority (circle one):

1. Board of Health 2. Building Department 3. City/Town Clerk 4. Licensing Board 5. Selectmen's Office
6. Other _____

Contact Person: _____

Phone #: _____

508-991-6152



CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)
1/21/2021

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must have ADDITIONAL INSURED provisions or be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER Eastern Insurance Group LLC 233 West Central St Natick MA 01760		CONTACT NAME: Select PHONE (A/C No. Ext): 800-333-7234 FAX (A/C No.): 781-586-8244 E-MAIL: selectwork@easterninsurance.com ADDRESS: selectwork@easterninsurance.com	
INSURED J B Lanagan & Company Inc 980 Reed Road, Unit A No. Dartmouth MA 02747		INSURER(S) AFFORDING COVERAGE INSURER A: Arbella Protection Insurance Co INSURER B: National Liability & Fire Insurance Company INSURER C: INSURER D: INSURER E: INSURER F:	
JBLANAG-01		NAIC # 41360 20052	

COVERAGES

CERTIFICATE NUMBER: 931685640

REVISION NUMBER:

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDITIONAL INSURED	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
A	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR <input checked="" type="checkbox"/> Pollution <input checked="" type="checkbox"/> XCU Included GEN'L AGGREGATE LIMIT APPLIES PER: POLICY <input checked="" type="checkbox"/> PRO- <input type="checkbox"/> JECT <input type="checkbox"/> LOC OTHER:		8500065977	6/4/2020	6/4/2021	EACH OCCURRENCE \$1,000,000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$300,000 MED EXP (Any one person) \$15,000 PERSONAL & ADV INJURY \$1,000,000 GENERAL AGGREGATE \$2,000,000 PRODUCTS - COMP/OP AGG \$2,000,000 Pollution Liability \$250,000 COMBINED SINGLE LIMIT (Ea accident) \$1,000,000 BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$ \$
A	<input type="checkbox"/> AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> OWNED <input type="checkbox"/> AUTOS ONLY <input checked="" type="checkbox"/> HIRED <input type="checkbox"/> AUTOS ONLY <input type="checkbox"/> SCHEDULED <input type="checkbox"/> AUTOS <input type="checkbox"/> NON-OWNED <input type="checkbox"/> AUTOS ONLY		1020048461	6/4/2020	6/4/2021	EACH OCCURRENCE \$5,000,000 AGGREGATE \$5,000,000 \$
A	<input checked="" type="checkbox"/> UMBRELLA/LIAB <input type="checkbox"/> EXCESS LIAB DED <input checked="" type="checkbox"/> RETENTION \$10,000	<input checked="" type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS-MADE	4620081789	6/4/2020	6/4/2021	EACH OCCURRENCE \$5,000,000 AGGREGATE \$5,000,000 \$
B	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below	Y/N N/A	V9WC114020	1/27/2021	1/27/2022	PER STATUTE <input checked="" type="checkbox"/> OTHER MA & RI E.L. EACH ACCIDENT \$1,000,000 E.L. DISEASE - EA EMPLOYEE \$1,000,000 E.L. DISEASE - POLICY LIMIT \$1,000,000
DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)						

CERTIFICATE HOLDER

CANCELLATION

City of New Bedford
DPI
1103 Shawmut Avenue
New Bedford MA 02746

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.

AUTHORIZED REPRESENTATIVE

No. 21-03A

FEE 60.00

COMMONWEALTH OF MASSACHUSETTS

Board of Health, New Bedford, MA.

ABANDON EXISTING

DISPOSAL SYSTEM CONSTRUCTION PERMIT

SEPTIC SYSTEM ONLY

Permission is hereby granted to; Construct () Repair () Upgrade () Abandon ☒ an individual sewage disposal system at 1078 June Street as described in the application for Disposal System Construction Permit No. 21-03A, dated 11/29/2021.

Provided: Construction shall be completed within three years of the date of this permit. All local conditions must be met.

Form 1255 Rev. 5/96 A.M. Sullivan Co. Boston, MA

Date 1/29/21 Board of Health [Signature]

47337

J B LANAGAN & COMPANY INC

980 REED RD, UNIT A
N DARTMOUTH, MA 02747
(508) 984-1668

BAY COAST BANK

53-7223/2113

4/27/2021

PAY TO THE
ORDER OF City of New Bedford

\$ **450.00

Four Hundred Fifty and 00/100 ***** DOLLARS

City of New Bedford
Dept of Public Infrastructure
1105 Shawmut Avenue
New Bedford, MA 02746



J.B. Langan
AUTHORIZED SIGNATURE

AUTHORIZED SIGNATURE

MEMO

1240 - Sewer

⑈047337⑈ ⑆211372239⑆ 840295233⑈

J B LANAGAN & COMPANY INC

City of New Bedford

1240 - Sewer

4/27/2021

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450.00

BAYCOAST BANK 1240 - Sewer

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Dept of Public Infrastructure
1105 Shawmut Avenue
New Bedford, MA 02746

J.B. Laganan
AUTHORIZED SIGNATURE



MEMO

1240 - Sewer

⑈047337⑈ ⑆211372239⑆ 840295233⑈

J B LANAGAN & COMPANY INC

47337

City of New Bedford

1240 - Sewer

4/27/2021

450.00

BAYCOAST BANK 1240 - Sewer

450.00



Commonwealth of Massachusetts

CITY OF NEW BEDFORD

City Hall, Room 308, 133 William Street New Bedford, MA 02740 (508) 979-1540



BUILDING PERMIT

1/20/2021

No. **B-20-2484**

MSBC Sect. 110.14 - Any permit issued shall be deemed abandoned and invalid unless the work authorized by it shall have been commenced within six (6) months after its issuance.

FEE PAID: **\$131.25**

This certifies that **Marc Wilson**

Contractor Lic. # _____

ParcelID **136A-728**

owner/contractor has permission to: **Alteration 1-2 Family - 100.00**

on: **1078 JUNE ST**

Providing that the person accepting this permit shall in every respect conform to the terms of application therefore on file in this office; to the provisions of the statute of the Commonwealth and to the by-laws of the City of New Bedford relating to the inspection, erection, enlarging, altering, raising, moving, repairing, or tearing down of a building.

Permit is issued subject to the following special requirements: (Restrictions)

CITY DEPARTMENT/COMMISSION COMMENTS

BUILDING DEPARTMENT COMMENTS

The following department/commission has expressed concern about the issuance of this permit. You are advised to contact that agency and resolve this matter.

Department/Commission: _____

YOUR AREA INSPECTOR IS: **Thomas Welch**

Tel. (508) 979-1540 Between 8:00am - 9:00am

NOTICE: NOTIFY INSPECTOR 48 HOURS IN ADVANCE OF APPLYING SHEATHING OR LATHING

OCCUPANCY PERMIT REQUIRED BEFORE OCCUPANCY

No Building or Structure shall be used or occupied until the Certificate of Use and Occupancy shall have been issued by the Building Commissioner - MSBC, Sect. 120.1

This Card Must Be Displayed in a Conspicuous Place on the Premises and Not Torn Down or Removed Until Completion of Work

SUBJECT TO MASSACHUSETTS
STATE BUILDING CODE

Building Commissioner

Plan Review Comments: :

: part A issue, whole house renovation with small addition and attached garage addition

: DPI records show existing water service to building.

Should there be a need for a new water service water main to be extended, install gate valve at end of existing water main; install water main with hydrant and hydrant gate valve at end of main.
water service to be installed perpendicular from the water main to inside building no bends will be allowed.

: ASR-DPI Engrg.

RE: TB-20-2484

June St. 1078 (Purported Address) *
Plot 136A Lots 726, 727, 728 & 715
Reviewed 1/15/2021

PLEASE NOTE:

It is the responsibility of the applicant and the contractors to be familiar with DPI procedures/regulations and ascertain that all proposed work which falls under DPI jurisdiction, whether shown on the submitted site plan or not, is identified and executed in accordance with City of New Bedford DPI Construction Standards/Specifications. The Certificate of Occupancy (CO) will not be signed for any work performed that is non-compliant and/or if any of the following conditions are not met.

The following conditions are to be met by the applicant (being the owner and/or their representative) as part of this permit approval:

- 1.) The revised site plan submitted via e-mail today to DPI by Rich Riccio of Field Engineering, titled: "Proposed Building Addition Site Plan, Mark Wilson, 1078 June Street, New Bedford, Massachusetts", having a date of 12/9/2020 (last revised date of 1/14/2021), as prepared by Field Engineering Co., Inc. and stamped/signed by Richard R. Riccio, P.E. (Civil), was approved as the "final" site plan and conditionally approved by DPI, as follows:
 - a. The "sweeps" shown on the driveway entrance on this site plan are not allowed per City standards/specifications. The Bonded Contractor must build the driveway apron as per City requirements. The maximum width on a residential driveway opening is 18'.
 - b. The driveway apron being proposed on this plan is a secondary driveway opening (the legal driveway for this property is on the June St. side). Driveways are not allowed to come in through the back of properties, unless approved by the ZBA. DPI will not issue a driveway permit unless there is approval from the ZBA or other documentation from Danny Romanowicz of Inspectional Services stating otherwise.
 - c. Must provide a copy of the BOH abandonment permit for the existing septic system at this location before DPI can issue a sewer permit for the proposed sewer service.
 - d. Must call for an inspection of the infiltration system/related piping prior to backfilling.
 - e. Compliance with the City of New Bedford Stormwater Rules & Regulations/Ordinances is required for all project sites, regardless of size. All sites must implement sediment and erosion control measures and will be subject to the required construction site and sediment control inspections.
 - f. DPI attached the electronic version of the submitted plan in the View Permit system. However, the applicant is responsible for ensuring that Inspectional Services is provided with a hardcopy of the "final" site plan (or any modifications approved by DPI thereafter) for their review/file and review by other departments.

- 2.) Must provide 1 stamped/signed copies of the "final" site plan approved by DPI for each of the permits being sought (i.e. water, sewer/drain and sidewalk/driveway permits) for the proposed work. In addition, a copy of the building permit issued and of the stamped/signed foundation as-built plan must also be submitted prior to the CO being signed.

Please Note: Any representative pulling permits on behalf of the owner must provide DPI with a permission slip. If the property was acquired within the past 6 months, then a copy of the recorded deed showing property ownership must also be provided.

- 3.) * Note that the purported address number (#1078) will be checked/verified by Engineering prior to the CO being signed. If it is found that the above address number was not assigned as the legal address of the door being utilized as the main entrance of the existing structure, the owner will be made aware and said address discrepancy will need to be resolved before the CO is signed. The CO will not be signed unless the legal address issued by the City is permanently affixed to, above, or next to, the main door entrance

to which it was assigned such that it is highly visible from the street.

Please be advised that any and all future modifications to the site plan that was reviewed/approved for the above project and placed on file at DPI as the "final" site plan must be resubmitted for review/approval if said changes entail work that falls under the jurisdiction of DPI.
: ASR-DPI Engrg.

RE: TB-20-2484
June St. 1078 (Purported Address)
Plot 136A Lots 726, 727, 728 & 715
Reviewed 1/5/2021

The site plan recently submitted to DPI by Field Engineering (dated 12/9/2020 and signed/stamped on 12/28/20) was reviewed and requires the following revisions:

1. This property is made up of multiple parcels and has multiple lot numbers. All existing property lines are to be shown on the site plan, and the parcel id. for each lot must be called out. Please refer to comment #7 in DPI's original review comments (dated 9/28/20).
2. A driveway apron is to be installed as per DPI Standards/Specs. There is presently a small patch of asphalt at the location which is in disrepair and does not meet any of the required standards/specifications in order to be utilized as a driveway apron. Also, this is not a legal "Existing Curb Cut". The legal driveway for this property is on the June St. side, which is where the legal frontage is. Driveways are not allowed to come in through the back of properties, unless approved by the ZBA. Kindly update the linework and revise the label "Existing Curb Cut" to describe what is existing. Please stipulate the width/type (i.e. asphalt, cement, etc.) for the proposed driveway apron.
3. The proposed sewer cleanout location needs to be adjusted to meet DPI Standards/Specs.
4. A note is to be added that the existing sewer pipe from the house to the septic system (which is referenced to be a 4" pipe) must be adjusted accordingly being that a portion of the proposed addition is going to be within the area where 4" sewer pipe is presently located.
5. The existing water service must be redirected such that it does not run under the proposed garage slab. The meter pit of said water service is to be cleaned out and properly secured (frame and cover to be installed). There is presently a wood cover made up of boards which is in disrepair and poses a safety hazard. The existing water meter pit should be labeled.

Stephanie Crampton spoke with Rich Riccio of Field Engineering late this afternoon and went over said required edits. The revised plan is to be resubmitted for final review/approval by DPI.

: ASR-DPI Engrg.

RE: TB-20-2484

June St. 1078 (Purported Address)*
Plot 136A Lots 726, 727, 728 & 715**
Reviewed 9/28/2020

The only plan presently in the View Permit system for review is a notice of intent plan. Said plan was reviewed and found to lack the information required for DPI to conduct a proper assessment of the proposed site work. A proper site plan must be submitted for review showing all proposed work that falls under DPI jurisdiction, and said work must meet DPI requirements and construction specifications/standards. Copies are available through the DPI office.

The following is a quick checklist of the elements that need to be incorporated into all site plans submitted for review by DPI:

1. Please check that all existing site conditions are shown (i.e. abutting right-of-ways, driveways/sidewalks, curb/berm or edge of pavement, buildings, utilities, mains/service connections, shut offs, clean outs, septic system (if any), easements, grading, etc.). Make sure everything is properly called out/labeled (i.e. size/type of existing mains, services, type of curb/berm, etc.).
2. Show all proposed work (i.e. new structure(s), water/sewer/storm drain mains/service connections or septic system, driveway(s)-new/closure/widening, infiltration system for roof runoff/impervious pavement runoff (to include calculations), details and grading, etc.). Make sure everything is properly called out/labeled (i.e. proposed 1" copper water service, proposed 18' wide asphalt driveway apron, etc.).
3. Check with DPI to obtain the record information for the existing water/sewer mains within the ROW and services to said property, and update accordingly. Our records indicate that there is an existing water service that comes from Sassaquin Ave. that services this property. Please also show the location of the existing septic system since a permit will be required from the Board of Health, a copy of which will need to be provided to DPI, to abandon said existing system.
4. Check City of New Bedford Stormwater regulations and ordinances and ascertain that compliance has been met. There is over 500 S.F. of impervious area being added as part of this project (building and driveway).
5. Check that the site plan being submitted has been stamped/signed by the proper professional(s) responsible for the site development and design (i.e. Professional Engineer and/or Land Surveyor, depending on the case). This plan must also be stamped by the Engineer who designed the infiltration system and the proposed utility connections.
6. * Note that the purported address number (#1078) will be checked/verified prior to the CO being signed. If it is found that the above address number was not assigned as the legal address of the door being utilized as the main entrance of the above structure, the owner will be made aware and said address discrepancy will need to be resolved before the CO is signed.
7. ** Note that this property is made up of multiple parcels and has multiple lot numbers. all existing property lines must be shown on the site plan, and the parcel id. for each lot must be called out.

The design engineer and/or land surveyor should contact Engineering with any questions regarding the above comments and/or DPI requirements/construction specifications and standards that need to be met.

ASR-DPI Engrg.

RE: TB-20-2484

June St. 1078 (Purported Address) *

Plot 136A Lots 726, 727, 728 & 715

Reviewed 1/15/2021

PLEASE NOTE:

It is the responsibility of the applicant and the contractors to be familiar with DPI procedures/ regulations and ascertain that all proposed work which falls under DPI jurisdiction, whether shown on the submitted site plan or not, is identified and executed in accordance with City of New Bedford DPI Construction Standards/Specifications. The Certificate of Occupancy (CO) will not be signed for any work performed that is non-compliant and/or if any of the following conditions are not met.

The following conditions are to be met by the applicant (being the owner and/or their representative) as part of this permit approval:

- 1.) The revised site plan submitted via e-mail today to DPI by Rich Riccio of Field Engineering, titled: "Proposed Building Addition Site Plan, Mark Wilson, 1078 June Street, New Bedford, Massachusetts", having a date of 12/9/2020 (last revised date of 1/14/2021), as prepared by Field Engineering Co., Inc. and stamped/signed by Richard R. Riccio, P.E. (Civil), was approved as the "final" site plan and conditionally approved by DPI, as follows:
 - a. The "sweeps" shown on the driveway entrance on this site plan are not allowed per City standards/specifications. The Bonded Contractor must build the driveway apron as per City requirements. The maximum width on a residential driveway opening is 18'.
 - b. The driveway apron being proposed on this plan is a secondary driveway opening (the legal driveway for this property is on the June St. side). Driveways are not allowed to come in through the back of properties, unless approved by the ZBA. DPI will not issue a driveway permit unless there is approval from the ZBA or other documentation from Danny Romanowicz of Inspectional Services stating otherwise.
 - c. Must provide a copy of the BOH abandonment permit for the existing septic system at this location before DPI can issue a sewer permit for the proposed sewer service.

- d. Must call for an inspection of the infiltration system/related piping prior to backfilling.
- e. Compliance with the City of New Bedford Stormwater Rules & Regulations/Ordinances is required for all project sites, regardless of size. All sites must implement sediment and erosion control measures and will be subject to the required construction site and sediment control inspections.
- f. DPI attached the electronic version of the submitted plan in the View Permit system. However, the applicant is responsible for ensuring that Inspectional Services is provided with a hardcopy of the “final” site plan (or any modifications approved by DPI thereafter) for their review/file and review by other departments.
- 2.) Must provide 1 stamped/signed copies of the “final” site plan approved by DPI for each of the permits being sought (i.e. water, sewer/drain and sidewalk/driveway permits) for the proposed work. In addition, a copy of the building permit issued and of the stamped/signed foundation as-built plan must also be submitted prior to the CO being signed.

Please Note: Any representative pulling permits on behalf of the owner must provide DPI with a permission slip. If the property was acquired within the past 6 months, then a copy of the recorded deed showing property ownership must also be provided.

- 3.) * Note that the purported address number (#1078) will be checked/verified by Engineering prior to the CO being signed. If it is found that the above address number was not assigned as the legal address of the door being utilized as the main entrance of the existing structure, the owner will be made aware and said address discrepancy will need to be resolved before the CO is signed. The CO will not be signed unless the legal address issued by the City is permanently affixed to, above, or next to, the main door entrance to which it was assigned such that it is highly visible from the street.

Please be advised that any and all future modifications to the site plan that was reviewed/approved for the above project and placed on file at DPI as the “final” site plan must be resubmitted for review/approval if said changes entail work that falls under the jurisdiction of DPI.

Note to Inspectional Services:

- a.) Please kindly print the DPI comments for the applicant at the time they pick up their building permit. It is imperative that the applicants receive these comments when they are issued the building permit so that they are aware of the conditions under which it was approved.
- b.) For existing structures, the required permits from DPI should have been applied for prior to the building permit being issued.